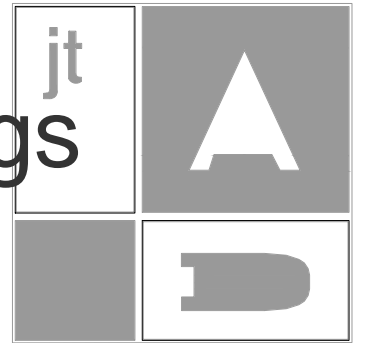


# ATTACHMENT E

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# 2017 Drawings



## 36-50 San Bruno Ave, Brisbane, CA

**San Bruno Development**  
james w trotter | project designer



vicinity map:

G.1.30

**project narrative:**

rev 08.07.17

By adding much needed senior housing and reactivating some existing commercial space for the community, the proposed development revitalizes a part of downtown Brisbane that remains shuttered since 23 Club was closed.

Using the adjacent parking lot facing San Bruno, the proposed housing project includes both a secure parking garage and a set of one bedroom apartments with direct access to a shared rear courtyard space and also within a short walkable distance to Brisbane's shops & restaurants. Along with the main housing development, the existing 23 Club facility will be reopened separately with access to the same sunny rear courtyard space. There are 16 apartments proposed with wood-frame construction over a concrete pedestal deck that covers the garage. All the units are designed for senior tenants with elevator access included to provide accessibility.

Our revised proposal has evolved in response to input from the community. The design now incorporates architectural details to reflect the modest but eclectic quality of the downtown neighborhood which includes features of the Art Deco style seen in some neighboring buildings. Also in response to the community, the club is to remain and will be reopened separately. Adding much needed new housing will help the downtown area of Brisbane become the active town center the local community desires and allow the 23 Club to again become a thriving gathering spot for the city.

**project info:**

lot area: 9,505 sf (see sheet TSP)

parcel number (apn): 007-222-020 & 003

zoning group: NCRO-2

occupancy group: R-2/S-2/M, mixed-use/garage

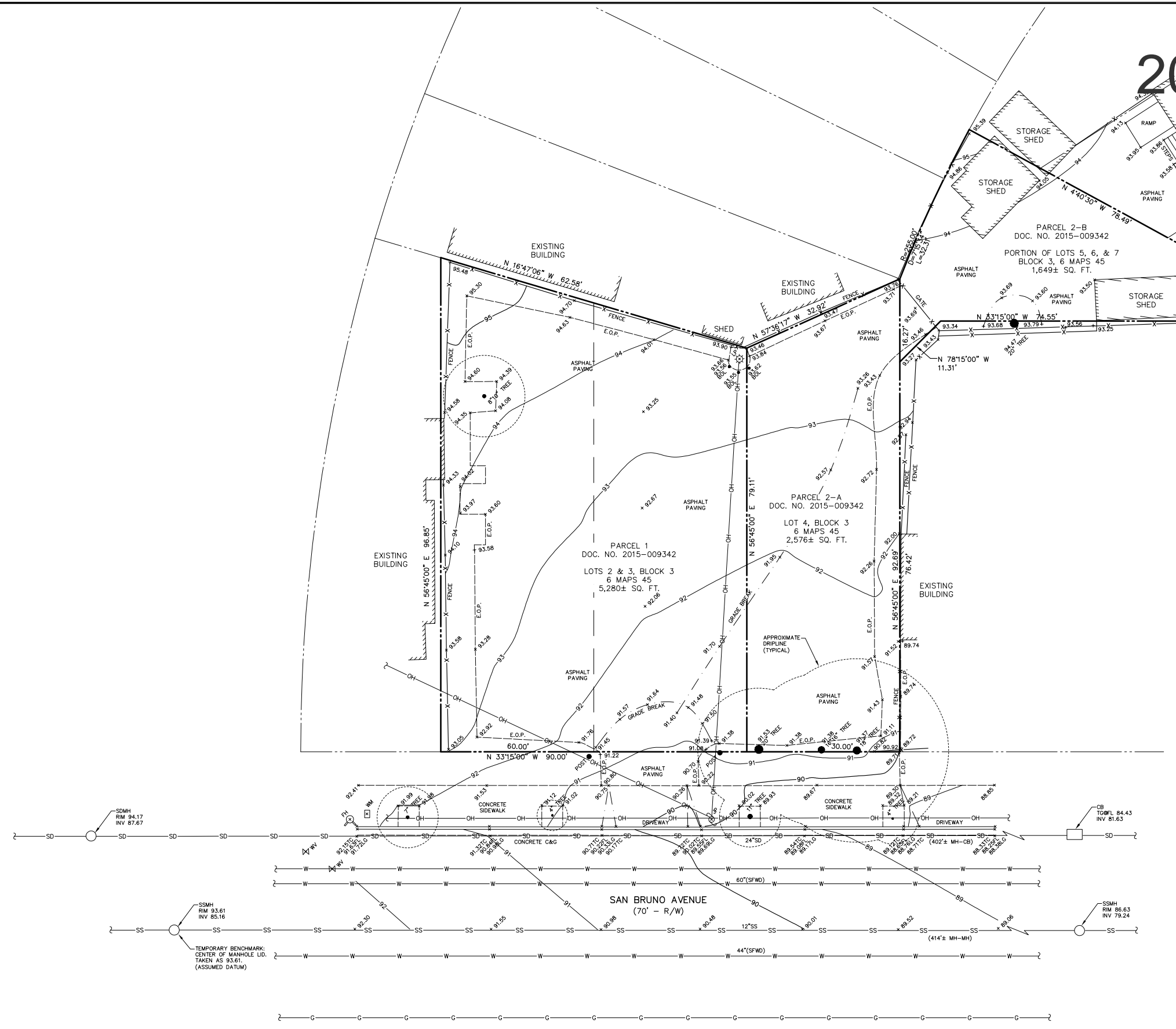
building type: v-b w/automatic fire sprinklers

**sheet index:**

- |   |  |
|---|--|
| A0.0 Cover w/Narrative, Info, Vicinity Map                  | A1.2 2nd & 3rd Level: Residential Floor Plans w/Typical Unit Plans |
| TSP Topographic Survey Plan (Existing)                      | A1.3 Exit Plan (All Levels)  |
| A1.0 Overall Roof & Site Plan w/Grading & Drainage          | A3.0 Exterior Elevations   |
| A1.1 1st Level: Garage & Commercial Spaces w/Landscape Plan | A4.0 Exterior Perspectives, Concept & Materials                    |
|   | A5.0 Street Front Renderings & Example of Boutique                 |
|   | BMP County Best Management Practices                               |

G.1.41

# 2017 Drawings



### LEGEND

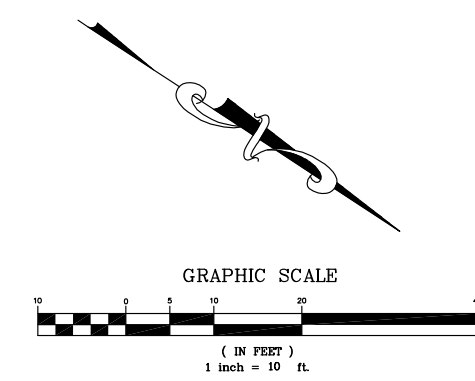
- PROPERTY LINE
- CB CATCH BASIN
- E.O.P. EDGE OF PAVEMENT
- FH FIRE HYDRANT
- FL FLOWLINE
- JP JOINT UTILITY POLE
- INV INVERT
- LG LIP OF GUTTER
- LP LIGHT POLE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TG TOP OF GRATE
- WM WATER METER
- WV WATER VALVE
- 12" TREE
- X— FENCE
- G— GAS LINE
- OH— OVERHEAD LINE
- SS— SANITARY SEWER LINE
- SD— STORM DRAIN LINE
- W— WATER LINE

### UTILITY NOTE:

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

### EASEMENT NOTE:

EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.



REV.	DESCRIPTION	BY:	DATE:
-	ADD ADDITIONAL SURVEY AREA	RJD	6/2/17

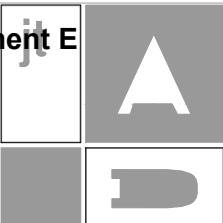


**DAINS LAND SURVEYING**  
rdains@dainslandsurveying.net  
(650) 743-0831

PREPARED FOR:  
JOEL DIAZ

TOPOGRAPHIC SURVEY PLAN  
VACANT LAND - SAN BRUNO AVENUE  
A.P.N. 007-222-020 & 003  
PARCELS 1 & 2-A, DOC. NO. 2015-009342  
BRISBANE SAN MATEO COUNTY CALIFORNIA

DRAWN BY:	RJD
DESIGNED BY:	---
CHECKED BY:	RJD
SCALE:	1"=10'
DATE:	3/2/17
PROJECT NO.	17-670
SHEET	1 OF 1



# 2017 Drawings

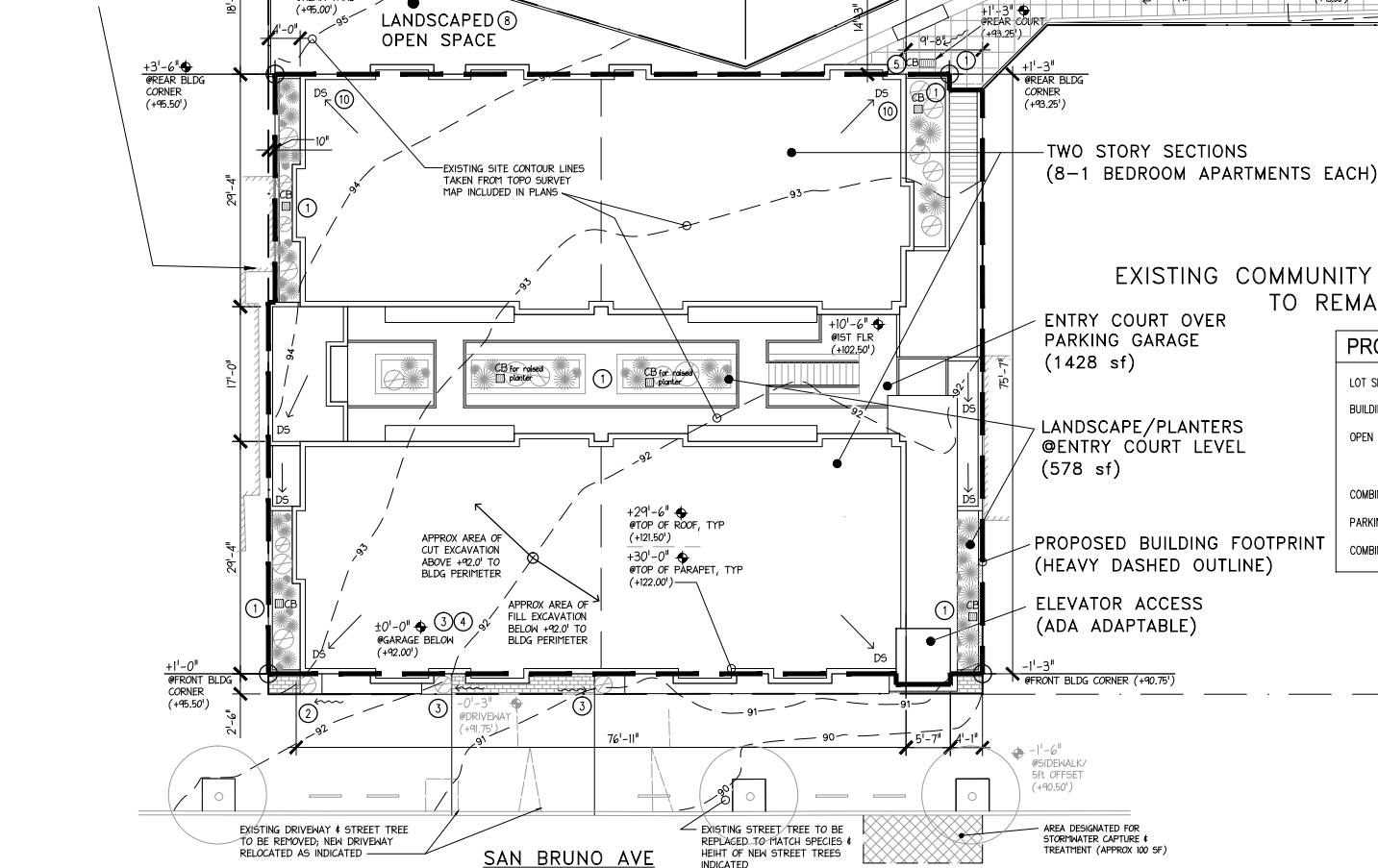
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### GRADING & EROSION CONTROL NOTES (BMP)

- A. STABILIZE ALL DENUDED AREAS & INSTALL & MAINTAIN ALL TEMPORARY EROSION & SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCT. 15TH & APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED.
- B. STORE, HANDLE & DISPOSE OF CONSTRUCTION MATERIALS & WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- C. CONTROL & PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENTS CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS & NON-STORMWATER DISCHARGES TO STORM DRAINS & WATERCOURSES.
- D. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE & OBTAIN ALL NECESSARY PERMITS.
- E. AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED & TREATED.
- F. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES & DRAINAGE COURSES.
- G. PROTECT ADJACENT PROPERTIES & UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- H. PERFORM CLEARING & EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
- I. LIMIT & TIME APPLICATIONS OF PESTICIDES & FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- J. LIMIT CONSTRUCTION ACCESS ROUTES & STABILIZE DESIGNATED ACCESS POINTS.
- K. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS & SIDEWALKS USING DRY SWEEPING METHODS.
- L. THE CONTRACTOR SHALL TRAIN & PROVIDE INSTRUCTION TO ALL EMPLOYEES & SUBCONTRACTORS REGARDING THE CONST. BMPs.



EXISTING PROPERTY @200 MARIPOSA (NO OPENINGS/WINDOWS @ENCROACHMENT)  
EXISTING TREES @200 MARIPOSA NEAR PROPERTY LINE TO BE PROTECTED DURING CONSTRUCTION WITH SEPARATE AGREEMENT PREPARED BY PROJECT OWNER WITH OWNER OF 200 MARIPOSA PROPERTY.



(E) 23 CLUB TO REMAIN

VISITACION AVE

### SITE DESIGN MEASURES\*

- 1 DIRECT RUNOFF FROM ROOF TOP & REAR YARD HARDCAPE TO CATCH BASINS WHERE INDICATED & HARD PIPED TO AREA PROPOSED FOR STORMWATER CAPTURE & TREATMENT
- 2 DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS WHERE INDICATED.
- 3 DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS WHERE PRACTICABLE; EXISTING UNCOVERED PARKING AREAS TO BE REMOVED..
- 4 MINIMIZE LAND DISTURBANCE AND IMPERVIOUS SURFACE (ESPECIALLY PARKING LOTS); EXISTING PARKING AREA TO BE REPLACED WITH COVERED GARAGE AND LANDSCAPED REAR COURTYARD.

### SOURCE CONTROL MEASURES

- 5 ON-SITE INLETS TO BE MARKED WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
- 6 INTERIOR FLOOR DRAINS TO BE PLUMBED TO SANITARY SEWER.
- 7 INTERIOR PARKING GARAGE FLOOR DRAINS TO BE PLUMBED TO SANITARY SEWER.
- 8 LANDSCAPING: EXISTING VEGETATION TO BE RETAINED AS PRACTICABLE; DIVERSE SPECIES APPROPRIATE TO THE SITE INCLUDING PLANTS THAT ARE PESTICIDE AND/OR DISEASE-RESISTANT, DROUGHT TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS TO BE SELECTED; USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS TO BE MINIMIZED; EFFICIENT IRRIGATION SYSTEM WHICH IS DESIGNED TO MINIMIZE RUNOFF TO BE INSTALLED. (SEE SHT A1.1 FOR PROPOSED LANDSCAPE MATERIALS & VEGETATION.)
- 9 FIRE SPRINKLERS: DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO SANITARY SEWER.
- 10 ROOF DRAINS SHALL DRAIN TO UNPAVED AREA WHERE PRACTICABLE; WATER RECAPTURE TO BE CONSIDERED AT REAR SECTION OF HOUSING FOR PRESERVED REAR LANDSCAPE AREA & FIRST LEVEL RESIDENTIAL PLANTERS

\*SEE SHT A1.1 FOR LANDSCAPE NOTES & FINISHES

### SITE GRADING & DRAINAGE NOTES & CALCS

- 1) ALL SURFACE DRAINAGE IS EXISTING TO REMAIN U.O.N.
- 2) ALL DOWNSPOUTS & CATCH BASINS SHALL BE HARD PIPED TO TERMINATE @CITY STORM DRAIN SYSTEM INCLUDING STORMWATER TREATMENT, U.O.N.
- 3) MINIMUM 2% SLOPE FOR IMPERVIOUS SURFACES ADJACENT TO STRUCTURE. NO FINAL GRADING IS TO INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.  
MIN 2% = DRAINAGE AT 1/4" PER 12" MIN. (TYP U.O.N.)
- 4) PROVIDE IRRIGATION BUBBLERS TO EACH TREE SITE IN THE PLANTER STRIP WHERE APPLICABLE; TREES SHOWN ARE PROPOSED WITH APPROXIMATE LOCATIONS.
- 5) CALCULATIONS  
GRADING CUT & FILL ESTIMATES:  
WITH APPROXIMATE CUT (5000 CU FT) FOR FOUNDATIONS & AND APPROXIMATE FILL (1800 CU FT) FOR FRONT NORTHERN SECTION OF SITE & SOME BACK FILL AT THE REAR OF THE SITE, APPROXIMATELY 3200 CU FT (119 CU YD) TO BE REMOVED.  
STORMWATER CALCULATIONS (6,515 SF INCLUDING DECKS):  
Q=CIA= 0.9x2.9x0.15(6,515) = 0.1335 cfs; Qx449= 59.94 gpm

PROJECT DATA	
LOT SIZE (INCLUDING EASEMENT):	9,505 sf
BUILDING LOT COVERAGE:	6782 sf
OPEN SPACE PROPOSED:	2,427 sf (yards & courts at groundlevel only) 1,428 sf (shared entry court at first floor level) 3,855 sf (total combined open space)
COMBINED COMMERCIAL SPACE:	464 sf (excluding ADA compliant restroom)
PARKING GARAGE AREA:	5,650 sf (14 parking spaces incl 6 compact spaces & 1 hdcp)
COMBINED RESIDENTIAL AREA:	8,644 sf (16 residential units for senior housing)

REVISIONS		
No.	Description	Date
△	SCHEMATIC REVIEW	05/10/2016
△	CITY SUBMITTAL	05/23/2016
△	CITY RESUBMITTAL #1	01/15/2016
△	CITY RESUBMITTAL #2	11/24/2016
△	DP SUBMITTAL	01/27/2017
△	DP SUBMITTAL REV #1	03/30/2017
△	DP SUBMITTAL REV #2	05/12/2017
△	DP SUBMITTAL REV #3	07/07/2017
PROJECT		

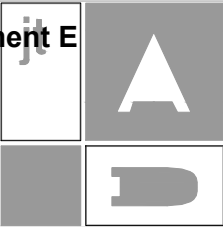
SAN BRUNO DEVELOPMENT  
36-50 San Bruno Ave  
Brisbane, CA 94005

DRAWING

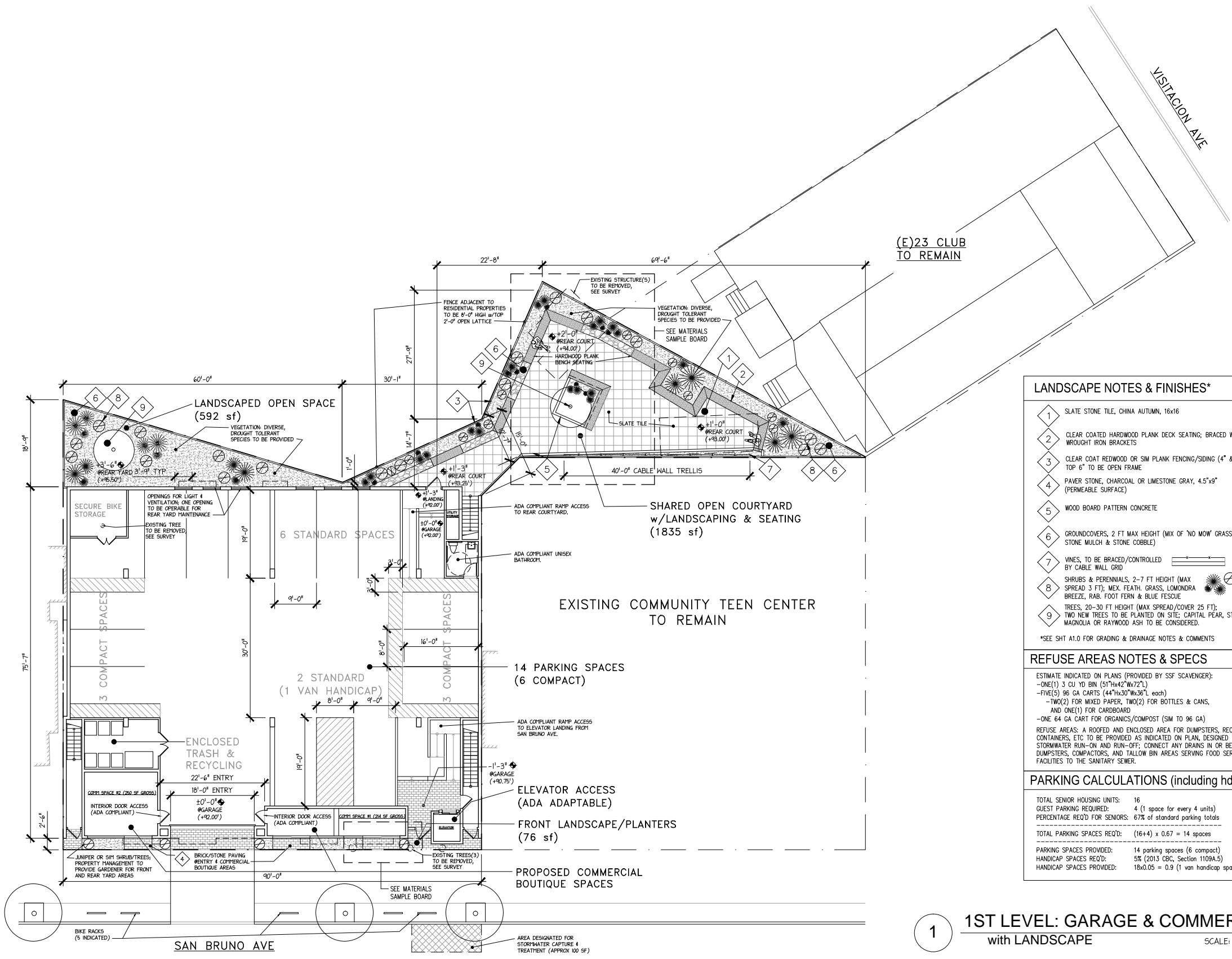
OVERALL ROOF & SITE PLAN w/GRADING & DRAINAGE

NO:	2015.04
DRAWN BY:	JWT
SC:	AS NOTED
DATE:	05-08-16

1 OVERALL ROOF & SITE PLAN w/GRADING  
SCALE: 3/32"=1'-0" SCALE: 1/16"=1'-0"



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### LANDSCAPE NOTES & FINISHES\*

- 1 SLATE STONE TILE, CHINA AUTUMN, 16x16
- 2 CLEAR COATED HARDWOOD PLANK DECK SEATING, BRACED W/BLACK WROUGHT IRON BRACKETS
- 3 CLEAR COAT REDWOOD OR SIM PLANK FENCING/SIDING (4" & 6"), TOP 6" TO BE OPEN FRAME
- 4 PAVER STONE, CHARCOAL OR LIMESTONE GRAY, 4.5"x9" (PERMEABLE SURFACE)
- 5 WOOD BOARD PATTERN CONCRETE
- 6 GROUNDCOVERS, 2 FT MAX HEIGHT (MIX OF 'NO MOW' GRASS, STONE MULCH & STONE COBBLE)
- 7 VINES, TO BE BRACED/CONTROLLED BY CABLE WALL GRID
- 8 SHRUBS & PERENNIALS, 2-7 FT HEIGHT (MAX SPREAD 3 FT); MEX. FEATH. GRASS, LOMONDRA BREEZE, RAB. FOOT FERN & BLUE FESCUE
- 9 TREES, 20-30 FT HEIGHT (MAX SPREAD/COVER 25 FT); TWO NEW TREES TO BE PLANTED ON SITE; CAPITAL PEAR, STAR MAGNOLIA OR RAYWOOD ASH TO BE CONSIDERED.

\*SEE SHT A1.0 FOR GRADING & DRAINAGE NOTES & COMMENTS

### REFUSE AREAS NOTES & SPECS

ESTIMATE INDICATED ON PLANS (PROVIDED BY SSF SCAVENGER):  
 -ONE(1) 3 CU YD BIN (51"Hx42"Wx72"L)  
 -FIVE(5) 96 GA CARTS (44"Hx30"Wx36"L each)  
 -TWO(2) FOR MIXED PAPER, TWO(2) FOR BOTTLES & CANS, AND ONE(1) FOR CARDBOARD  
 -ONE 64 GA CART FOR ORGANICS/COMPOST (SIM TO 96 GA)  
 REFUSE AREAS: A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC TO BE PROVIDED AS INDICATED ON PLAN, DESIGNED TO PREVENT STORMWATER RUN-ON AND RUN-OFF; CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.

### PARKING CALCULATIONS (including hdcp)

TOTAL SENIOR HOUSING UNITS: 16  
 GUEST PARKING REQUIRED: 4 (1 space for every 4 units)  
 PERCENTAGE REQ'D FOR SENIORS: 67% of standard parking totals

TOTAL PARKING SPACES REQ'D: (16+4) x 0.67 = 14 spaces

PARKING SPACES PROVIDED: 14 parking spaces (6 compact)  
 HANDICAP SPACES REQ'D: 5% (2013 CBC, Section 1109A.5)  
 HANDICAP SPACES PROVIDED: 18x0.05 = 0.9 (1 van handicap space)

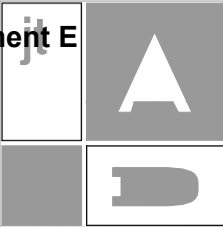
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△	CITY SUBMITTAL	05/23/2016
△	CITY RESUBMITTAL #1	01/15/2016
△	CITY RESUBMITTAL #2	11/24/2016
△	DP SUBMITTAL	01/21/2017
△	DP SUBMITTAL REV #1	03/30/2017
△	DP SUBMITTAL REV #2	05/12/2017
△	DP SUBMITTAL REV #3	07/01/2017
△	DP SUBMITTAL REV #4	08/07/2017

PROJECT  
**SAN BRUNO DEVELOPMENT**  
 36-50 San Bruno Ave  
 Brisbane, CA 94005

DRAWING  
**1ST LEVEL: GARAGE & COMMERCIAL SPACES with LANDSCAPE PLAN**

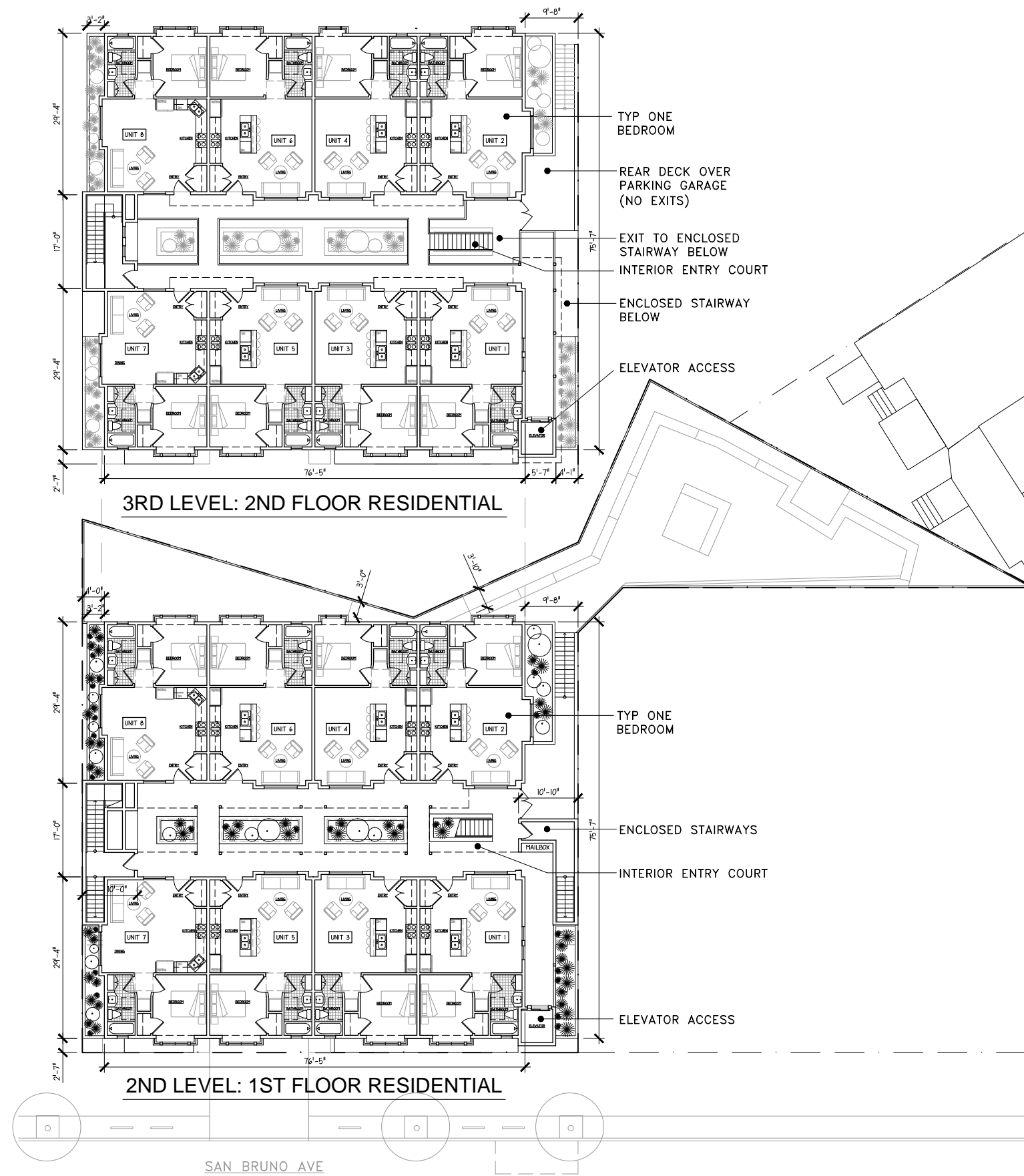
NO: 2015.04  
 DRAWN BY: JMT  
 SC: 3/32"=1'-0"  
 DATE: 05-08-16

**1 1ST LEVEL: GARAGE & COMMERCIAL with LANDSCAPE** SCALE: 3/32"=1'-0"



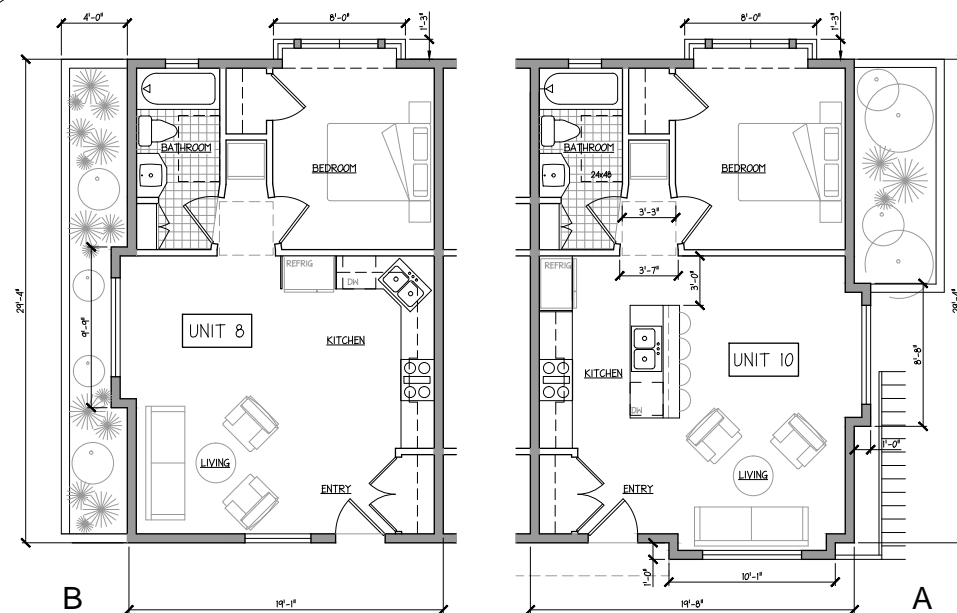
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1 OVERALL 2ND & 3RD LEVELS  
SCALE: 3/32"=1'-0"

G.1.34



TYPICAL UNIT PLAN AREA CALCS

UNIT TYPE	SUMMARY DESCRIPTION	BUILDING	OPEN SPACE
TYPE A (12 units):	FLAT, 1 BEDROOM, 1 BATH, 545 sf	6,540 sf	
TYPE B (4 units):	FLAT, 1 BEDROOM, 1 BATH, 526 sf	2,104 sf	
SHARED OPEN SPACE: LANDSCAPED YARD & COURTS (Ground Level)			2,427 sf
SHARED COURT SPACE: ENTRY COURTS (First Floor Level)			1,428 sf
TOTAL UNIT AREAS: 16 UNITS		8,644 sf	3,855 sf

NOTE: ALL AREAS FOR HABITABLE SPACES CALCULATED BY MEASURING TO INSIDE FACE OF EXTERIOR SHELL OR INSIDE FACE OF SHARED PARTY WALLS.

2 ONE BEDROOM UNIT (Types A & B)  
SCALE: 3/16"=1'-0"

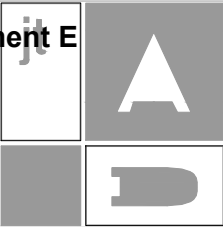
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8	DP SUBMITTAL REV #3	07/17/2017
9	DP SUBMITTAL REV #4	08/07/2017

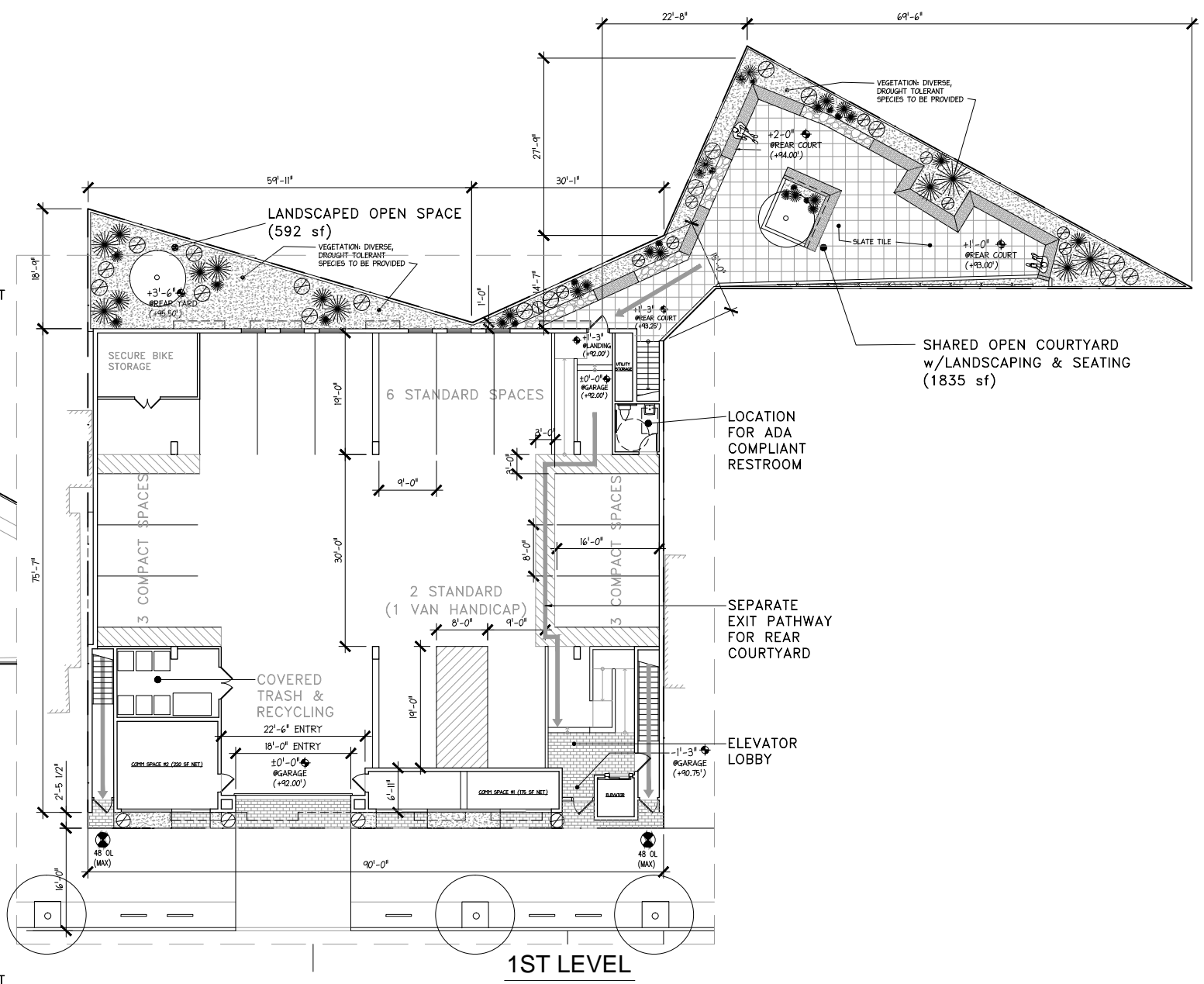
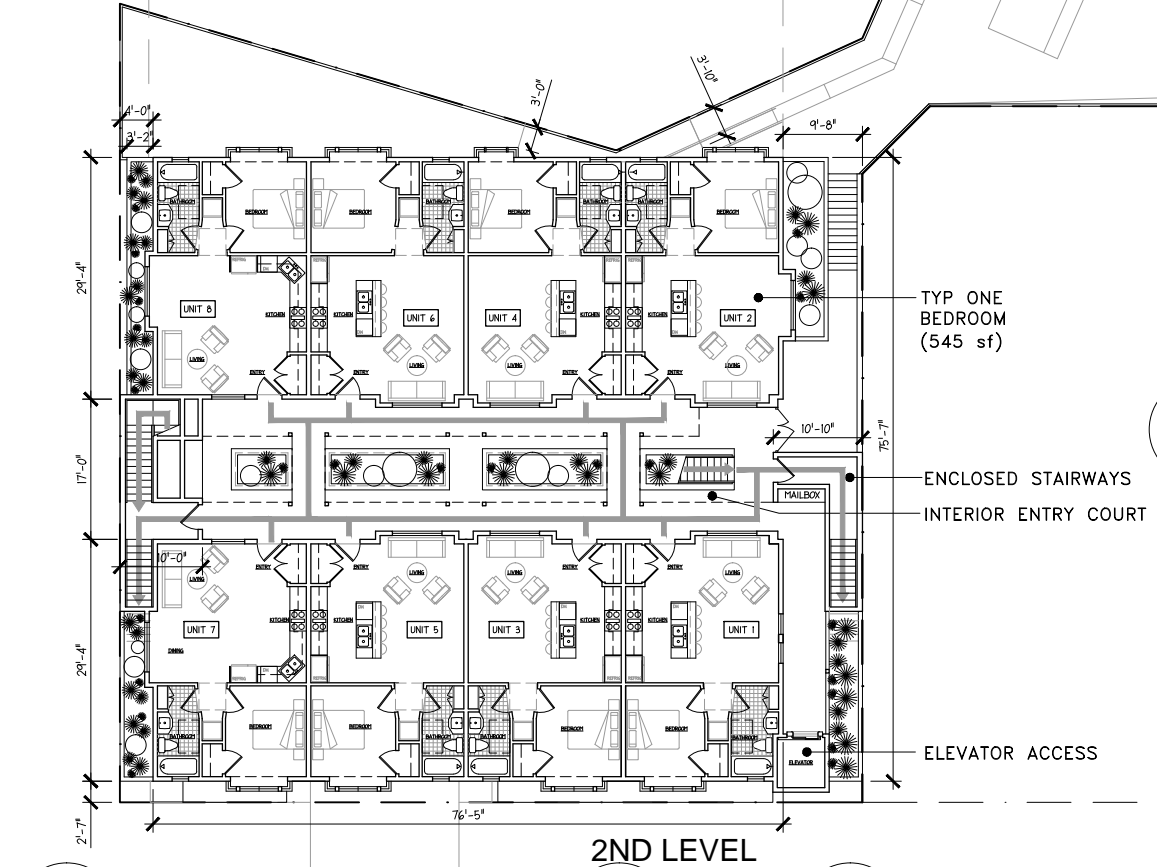
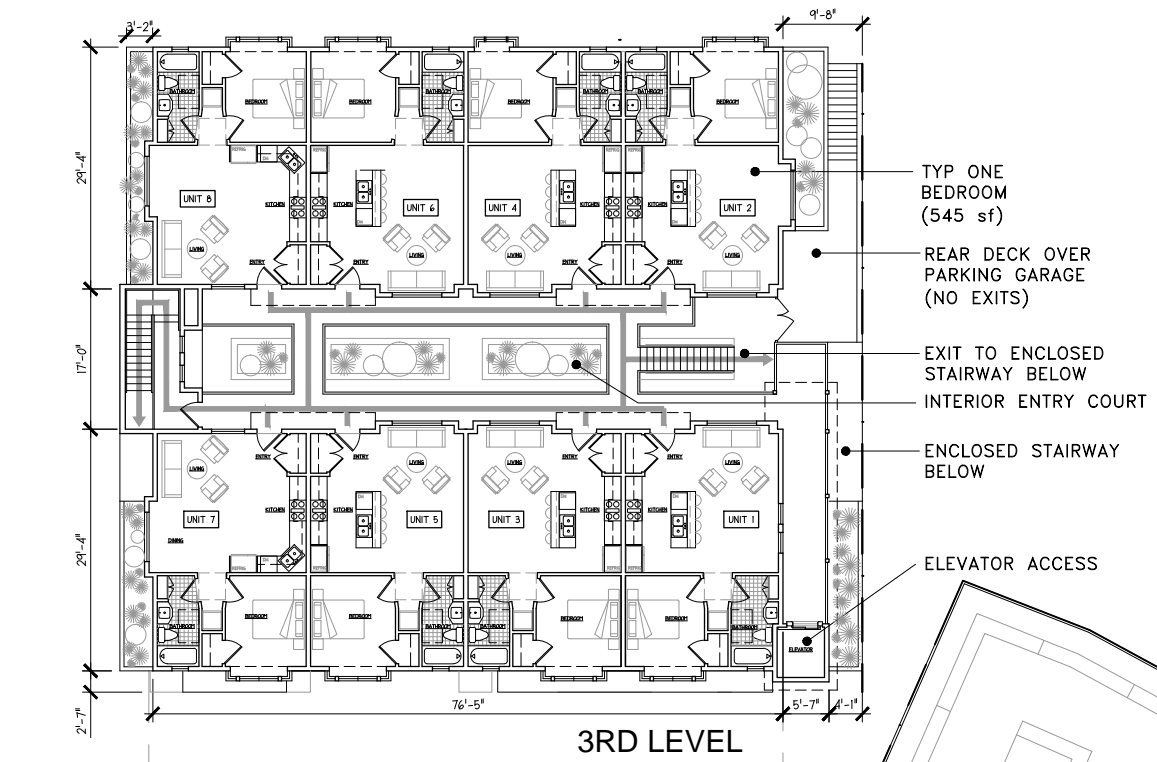
PROJECT  
SAN BRUNO DEVELOPMENT  
36-50 San Bruno Ave  
Brisbane, CA 94005

DRAWING  
2ND & 3RD LEVELS:  
RESIDENTIAL FLOOR PLANS  
w/TYPICAL UNIT PLANS

NO: 2015.04  
DRAWN BY: JMT  
SC: AS NOTED  
DATE: 05-08-16  
A1.2



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**MEANS OF EGRESS CALCULATIONS**

FLOOR AREA(S) FOR RESIDENTIAL UNITS w/LOAD FACTORS:  
 36" MIN WIDTH @STAIRS/0.2\*(PER OCC) → MAX OCC. LOAD @NORTH & SOUTH STAIRS  
 180 OL allowed (48 indicated/1/200 gross sf)

MAXIMUM TRAVEL DISTANCE TO EXIT(S):  
 MAXIMUM TRAVEL DISTANCE IN PLAN FROM UNIT 16 TO NORTH STAIRS @SAN BRUNO AVE.  
 DISTANCE CALCULATED: ~150'-0", LESS THAN MAX DISTANCE 250'-0".

MEANS OF EGRESS (R-2 Occupancy):  
 SECTION 1021.2.6(1+6.2), ONE EXIT REQUIRED FROM EACH UNIT WHICH LEADS TO TWO EXITS (NORTH & SOUTH SIDES OF PROPERTY ONTO SAN BRUNO AVE).

REVISIONS	No.	Description	Date
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△	7	DP SUBMITTAL REV #2	05/12/2017
△	8	DP SUBMITTAL REV #3	07/07/2017
△	9	DP SUBMITTAL REV #4	08/07/2017

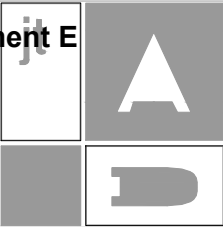
PROJECT  
 SAN BRUNO DEVELOPMENT  
 36-50 San Bruno Ave  
 Brisbane, CA 94005

DRAWING  
 EXIT PLAN (ALL LEVELS)

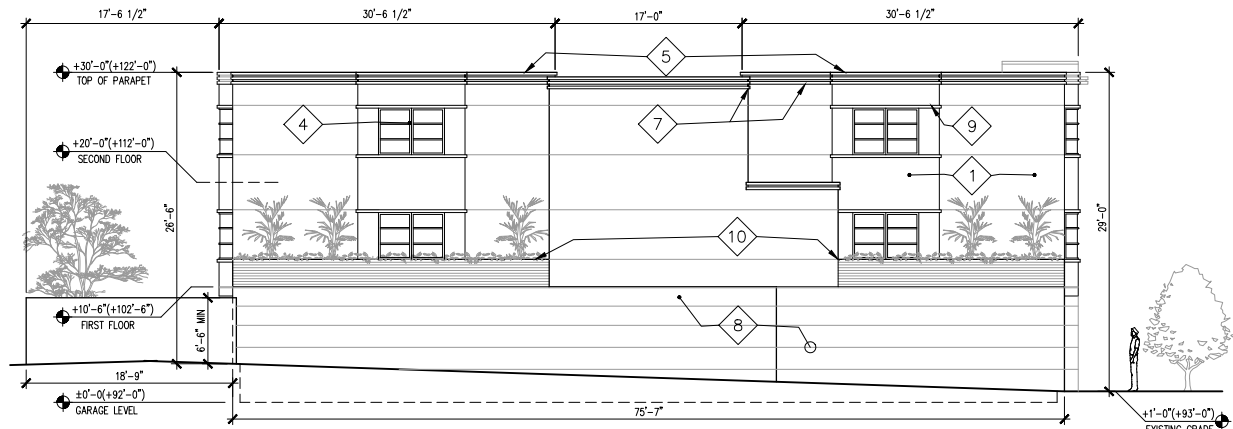
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 SC: AS NOTED  
 DATE: 03-3-17  
**A1.3**



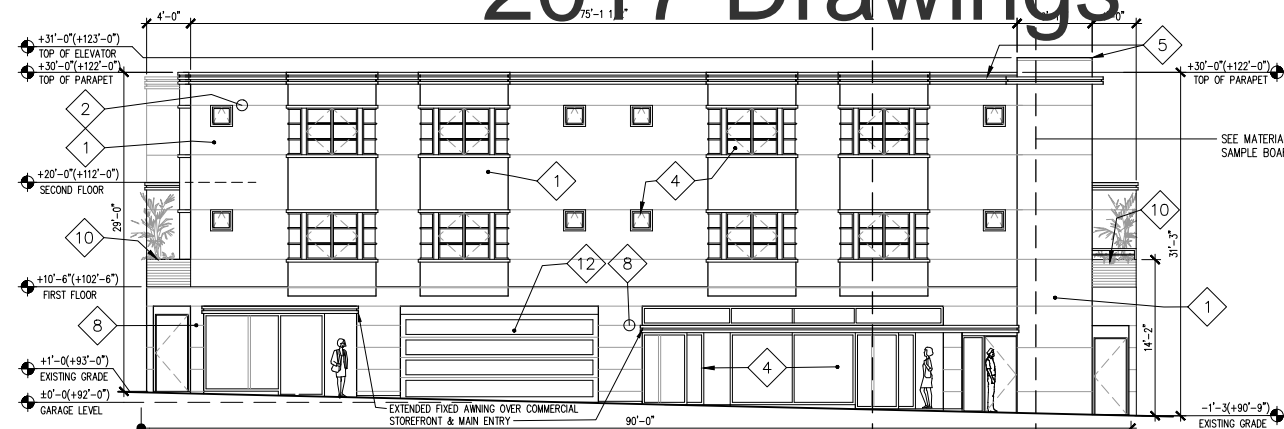
# 2017 Drawings



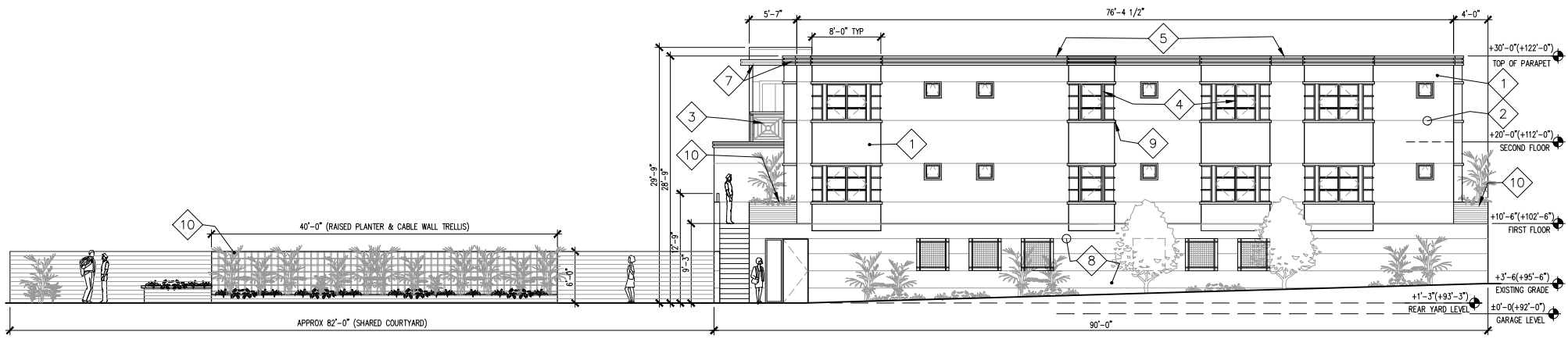
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5 EXTERIOR NORTH ELEV SCALE: 1/8"=1'-0"

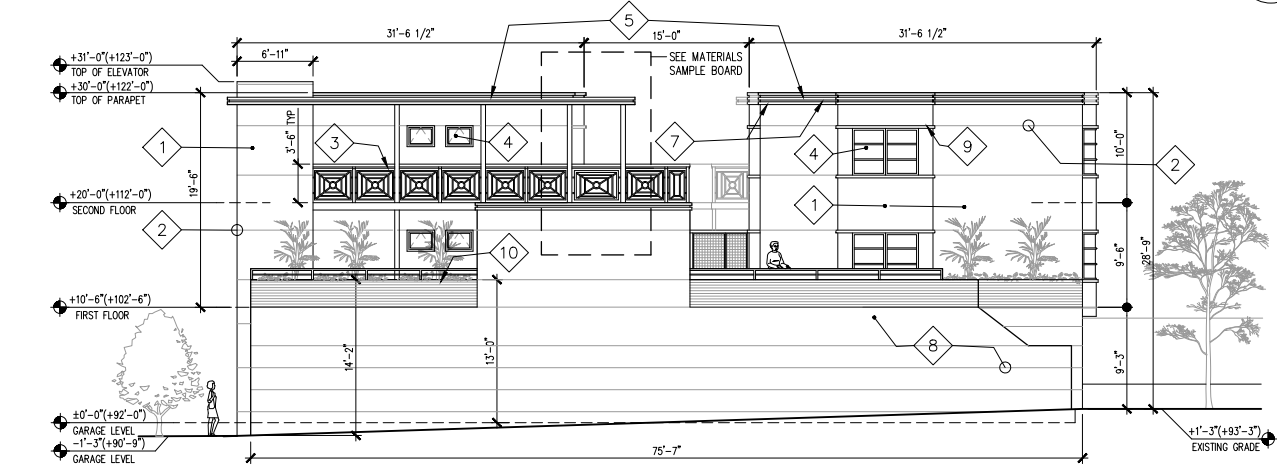


3 EXTERIOR STREET ELEV @ SAN BRUNO SCALE: 1/8"=1'-0"

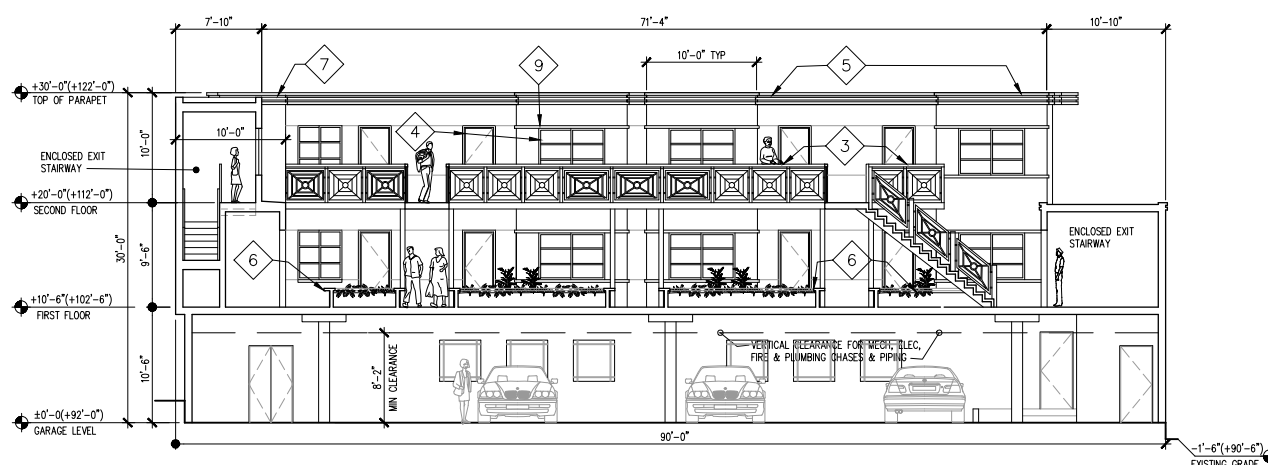


2 EXTERIOR REAR ELEV

- EXTERIOR ELEVATION NOTES & FINISHES**
- 1 PTD STUCCO, 20/30 FINE FINISH; P-40 ALABASTER @BAYS & ELEVATOR & P-138 HAYSTACK @UPPER EXTERIOR/RESIDENTIAL LEVELS.
  - 2 PTD METAL HORIZONTAL REVEALS, TYP; 3/4" DEPTH, 1/2" WIDTH POWDER COAT BLACK.
  - 3 PTD METAL GUARDRAILS W/STAINED HARDWOOD CAP, FABRICATED ART-DECO STYLE PATTERN AS INDICATED.
  - 4 POWDER COATED CLAD OR ALUM WNDOW & DOOR UNITS, VENDORS MARVIN (RESIDENTIAL) & BONELLI (COMMERCIAL) SHOWN. SEE MATERIALS BOARD.
  - 5 FLAT ROOF CONSTRUCTION WITH PARAPET ALL AROUND, PTD FINISH. SEE NOTE 7.
  - 6 CLEAR COATED HARDWOOD PLANK DECK OVER PLANTER BOX FRAMING; TYPICAL FOR OUTDOOR SEATING AREAS.
  - 7 HORIZONTAL BAND FASCIA, TYP; PTD HARDWOOD FINISH OR SIM.
  - 8 PTD STUCCO OVER CONCRETE W/HORIZONTAL REVEALS AS INDICATED; STUCCO SKIM COAT (P-2086 MOONSHADOW) W/SMOOTH PLASTER FINISH @3/8" DEPTH W/POWDER COATED MTL REVEALS.
  - 9 ART DECO DECOR, TYP; PTD HARDWOOD FINISH OR SIM.
  - 10 CLEAR COAT REDWOOD OR SIM PLANK FENCING/SIDING (4" & 6"); FENCE ADJACENT TO RESIDENTIAL PROPERTIES TO BE 8'-0" HIGH INCLUDING 2'-0" LATTICE AT THE TOP.
  - 11 WOOD BOARD PATTERN CONCRETE (REAR COURTYARD ONLY)
  - 12 SEGMENTED ROLL-UP DOOR W/TRANSLUCENT (SEMI-OPAQUE) LITES.



4 EXTERIOR NORTH ELEV SCALE: 1/8"=1'-0"



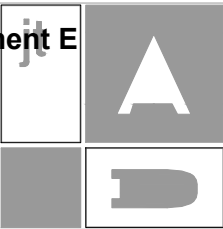
1 INTERIOR COURT & GARAGE ELEV SCALE: 1/8"=1'-0"

REVISIONS		
No.	Description	Date
△	SCHEMATIC REVIEW	05/10/2016
△	CITY SUBMITTAL	05/23/2016
△	CITY RESUBMITTAL	01/15/2016
△	CITY RESUBMITTAL #2	11/24/2016
△	DP SUBMITTAL	01/21/2017
△	DP SUBMITTAL REV #1	03/30/2017
△	DP SUBMITTAL REV #2	05/12/2017
△	DP SUBMITTAL REV #3	07/07/2017
△		
△		
△		

PROJECT  
 SAN BRUNO DEVELOPMENT  
 36-50 San Bruno Ave  
 Brisbane, CA 94005

DRAWING  
 EXTERIOR ELEVATIONS  
 @ SAN BRUNO DEV

NO: 2015.04  
 DRAWN BY: JMT A3.0  
 SC: 1/8"=1'-0"  
 DATE: 07-15-16

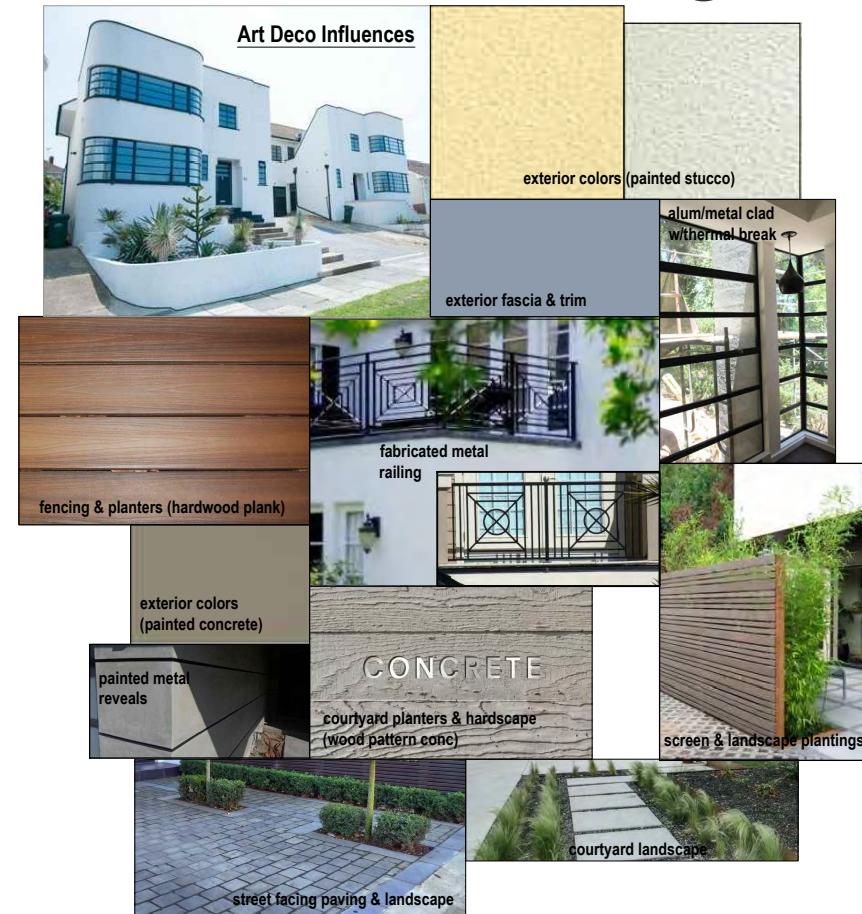


# 2017 Drawings

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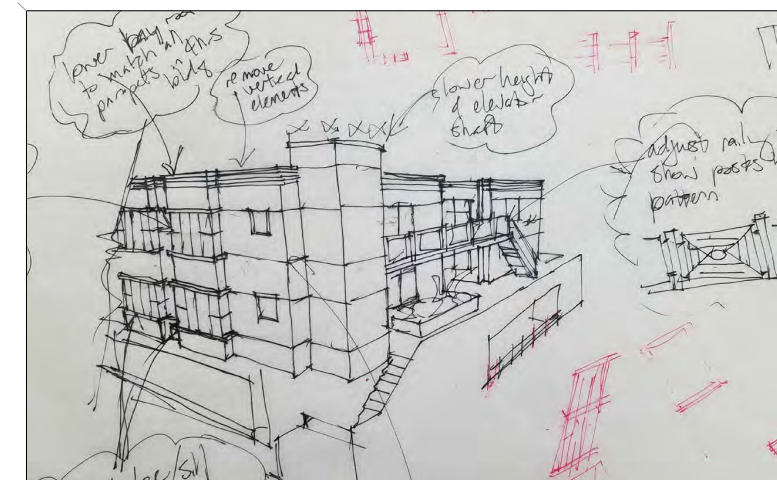
3 VIEW TOWARD SAN BRUNO UNITS IN SHARED REAR OPEN SPACE



2 MATERIALS & FEATURES  
SEE SHTS A1.1, A3.0 & MATERIALS BOARD FOR MORE DETAIL



1 VIEW @SAN BRUNO AVE & CONCEPT SKETCH

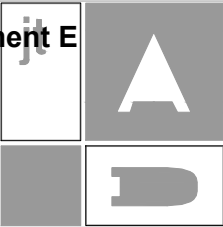


REVISIONS		
No.	Description	Date
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△	CITY SUBMITTAL	05/23/2016
△	CITY RESUBMITTAL	07/15/2016
△	CITY RESUBMITTAL #2	11/24/2016
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△	DP SUBMITTAL REV #1	03/30/2017
△	DP SUBMITTAL REV #2	05/12/2017
△	DP SUBMITTAL REV #3	07/07/2017
△		
△		
△		

PROJECT  
SAN BRUNO DEVELOPMENT  
36-50 San Bruno Ave  
Brisbane, CA 94005

DRAWING  
EXTERIOR PERSPECTIVES,  
CONCEPT & MATERIALS

NO: 2015.04  
DRAWN BY: JWT  
SC: NOT TO SCALE  
DATE: 11-23-16  
A4.0

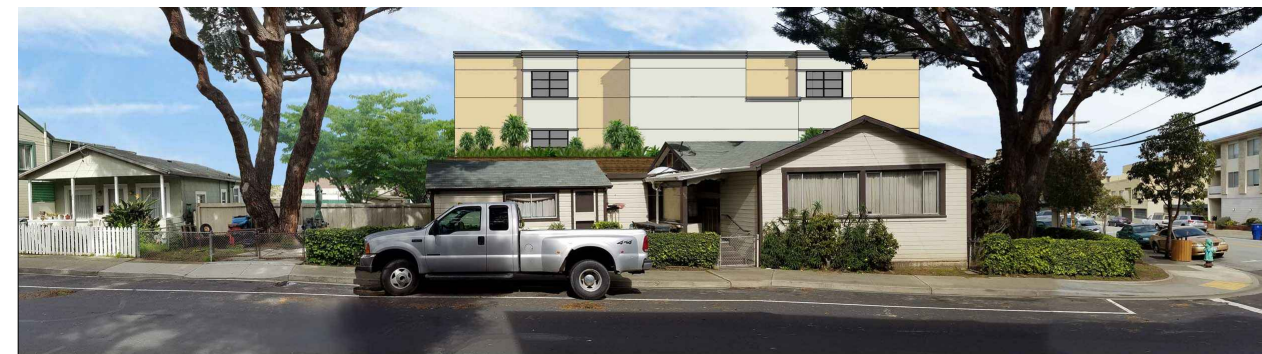


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# 2017 Drawings



3 VIEW FROM SAN BRUNO AVENUE



2 VIEW FROM MARIPOSA STREET



HEATH CERAMICS  
(FERRY PLAZA BUILDING;  
HALF OF AREA OF PROP.  
COMMERCIAL SPACE #1)



4 EXAMPLE OF COMMERCIAL BOUTIQUE SPACES



1 CORNER VIEW @SAN BRUNO AVE & MARIPOSA ST

REVISIONS		
No.	Description	Date
△	SCHEMATIC REVIEW	05/10/2016
△	CITY SUBMITTAL	05/23/2016
△	CITY RESUBMITTAL	07/15/2016
△	CITY RESUBMITTAL #2	11/24/2016
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△	DP SUBMITTAL REV #3	07/07/2017
△		
△		
△		

PROJECT  
SAN BRUNO DEVELOPMENT  
36-50 San Bruno Ave  
Brisbane, CA 94005

DRAWING  
STREET PHOTO SIMULATION  
& EXAMPLE OF BOUTIQUE

NO: 2015.04  
DRAWN BY: JWT  
SC: NOT TO SCALE  
DATE: 11-23-16  
A5.0

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