

ABBREVIATIONS	
@	Centerline
#	Found or Number
AC	Acoustical
AD	Area Drain
ADJ	Adjustable
Alum.	Aluminum
Approx.	Approximate
Arch.	Architectural
Asb.	Asbestos
Asph.	Asphalt
BRD	Board
Bitum.	Bituminous
Bldg.	Building
Blk.	Block
Blkg.	Blocking
Bm.	Beam
Bot.	Bottom
Cab.	Cabinet
CB	Catch Basin
Cem.	Cement
Cer.	Ceramic
CG	Corner Guard
Cg.	Ceiling
Ckg.	Caulking
Cl.	Closet
Cl.	Clear
C.O.	Closed Opening
Col.	Column
Conc.	Concrete
Con.	Connection
Const.	Construction
Cont.	Continuous
Cor.	Corridor
Csk.	Countersunk
Ctr.	Counter
Centr.	Center
DBL	Double
Dep't.	Department
D.F.	Drinking Fountain
Det.	Detail
Dia.	Diameter
Dim.	Dimension
Disp.	Dispenser
Dn.	Down
Dr.	Door
DS	Down spout
Dwg.	Drawing
Ea.	Each
EJ	Expansion Joint
EL	Elevation
Elect.	Electrical
ELev.	Elevator
Emer.	Emergency
End.	Enclosure
EP	Electrical Panel board
Eq.	Equal
Equip.	Equipment
EWC	Electric Water Cooler
EJ	Existing
Exp.	Exposed
Expan.	Expansion
Ext.	Exterior
FA	Fire Alarm
FD	Floor Drain
FDN	Foundation
FE	Fire Extinguisher
FEC	Fire Extinguisher Cab.
FHC	Fire Hose Cabinet
Fin.	Finish
Fl.	Floor
Flash.	Flashing
Fluor.	Fluorescent
F.O.	Face of
FOC	Face of Concrete
FPF	Face of Finish
FOS	Face of Studs
FRRF	Fireproof
FS	Full Size
FT	Foot or Feet
FTG	Footing
Fur.	Furring
Fut.	Future
G.B.	Grab Bar
Gl.	Glass
Gyp.	Gypsum Board
HB	Hose Bib
HC	Hollow Core
HDWD	Hardwood
HDDWE	Hardware
Horiz.	Horizontal
Hr.	Hour
Hgt.	Height
ID	Inside Diameter Dim.)
Insul.	Insulation
Int.	Interior
Jan.	Janitor
Jo.	Joint
Kit.	Kitchen
Lam.	Laminate
Lav.	Lavatory
Lt.	Light
M	Man
Max.	Maximum
Mech.	Mechanical
Mem.	Membrane
Met.	Metal
MFR	Manufacturer
MH	Mainhole
Min.	Minimum
Mir.	Mirror
Misc.	Miscellaneous
MO	Masonry Opening
Md.	Mounted
Mul.	Mullion
NIC	Not in Contract
No. or #	Number
Nom.	Nominal
NTS	Not to scale
OA	Overall
Obs.	Obscure
OC	On Center
OD	Outside Diameter Dim.)
Open.	Opening
Opp.	Opposite
Prep.	Preparation
P. Lam.	Plastic Laminate
Plast.	Plaster
Plywd	Plywood
Pl.	Pair
Pl.	Point
PTD	Paper Towel Dispenser
Part.	Part
QT	Quarry Tile
R	Riser
Rad.	Radius
RD	Roof Drain
Ref.	Reference
Refr.	Refrigerator
Rgr	Register
Reinf.	Reinforced
Req.	Required
Resil.	Resilient
Rm.	Room
RO	Rough Opening
RWL	Rain Water Leader
SC	Solid Core
SCD	Seat Cover Dispenser
Sched.	Schedule
SD	Soap Dispenser
Sect.	Section
Sh.	Sheet
Sim.	Similar
SMD	See Mechanical Drawings
SND	Sanitary Napkin Disposal
Spec.	Specification
SSD	See Structural Drawings
SS	Stainless Steel
Sta.	Station
Std	Standard
Stl.	Steel
Stor.	Storage
Struct.	Structural
Susp.	Suspended
Sym.	Symmetrical
T	Tread
Tel.	Telephone
T&G	Tongue and Groove
Thk.	Thick
TOC	Top of Concrete
TOP	Top of Pavement
TOW	Top of Wall
TTD	Toilet Tissue Dispenser
TV	Television
Typ.	Typical
Unf.	Unfinished
UN	Unless Otherwise Noted
Vert.	Vertical
Vest.	Vestibule
W	Women
W/	With
WC	Water Closet
WD	Wood
W/O	Without
WP	Waterproof
WSCT	Wainscot
Wt.	Weight

PROJECT DIRECTORY	
PROJECT ADDRESS	36-50 SAN BRUNO AVENUE BRISBANE, CA 94005
GOLDMAN ARCHITECTS	172 RUSS STREET SAN FRANCISCO, CA 94103 JOHN GOLDMAN PH: 415.391.1339 EXT.104 FAX: 415.621.3393 john@goldmanarchitects.com
APPLICABLE CODES	2016 CALIFORNIA BUILDING CODE 2016 SF BUILDING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA FIRE CODE BRISBANE CA MUNICIPAL CODE



36-50 SAN BRUNO AVENUE BRISBANE, CA 94005

PERMIT SET

PARCEL 1, 2A & 2B
LOTS 2&3 BLOCK 3, LOT 4 BLOCK 3 AND, LOTS 5, 6 & 7 BLOCK 3

DRAWING INDEX	
Sheet List	
Sheet Number	Sheet Name
A0.0	COVER SHEET
A0.1	EXISTING SITE PHOTOS
A0.2	CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs)
C1.0	TOPOGRAPHIC SURVEY PLAN
A1.0	EXISTING SITE PLAN - DEMOLITION PLAN
A1.1	GRADING PLAN
A2.1	PROPOSED SITE / GROUND FLOOR PLAN
A2.2	SECOND FLOOR
A2.3	THIRD FLOOR
A2.4	ROOF PLAN
A3.0	BUILDING SECTIONS
A3.1	BUILDING ELEVATIONS - EAST & SOUTH
A3.2	BUILDING ELEVATIONS - WEST & NORTH
A3.3	REAR YARD ELEVATION - MAX. AREA OF EXTERIOR WALL OPENINGS
A3.4	SIDE ELEVATIONS - MAX. AREA OF EXTERIOR WALL OPENINGS
A3.5	PERSPECTIVE VIEWS - SAN BRUNO AVENUE
A3.6	PERSPECTIVE VIEWS - REAR YARD
A3.7	AERIAL VIEWS
A3.8	SAN BRUNO AVENUE - RENDERINGS
A3.9	REAR YARD - RENDERINGS

ISSUES

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172 RUSS STREET
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CALIFORNIA 94103
415-391-1339
415-621-3393

36-50 San Bruno Avenue
Brisbane, CA 94005

SYMBOL KEY	
	DETAIL
	EXTERIOR ELEVATION
	SECTION / DETAIL
	DOOR NUMBER
	WINDOW TYPE
	ROOM NAME NUMBER
	INTERIOR ELEVATION
	ELEVATION POINT/DATUM
	REVISION #
	PARTITION TYPE



PROJECT INFORMATION																																																																																																																																
EXISTING BUILDING :	NONE																																																																																																																															
SCOPE OF WORK :	NEW 3-STORY BUILDING WHICH INCLUDES 16 - ONE BEDROOM SENIOR HOUSING UNITS AND A PARKING GARAGE, TWO COMMERCIAL SPACES, RESIDENTIAL LOBBY, AND OPEN SPACE AT THE GROUND FLOOR. TWO FLOORS OF HOUSING ARE ABOVE THE GROUND FLOOR.																																																																																																																															
ZONING :	NCRO-2 DISTRICT - NEIGHBORHOOD COMMERCIAL DISTRICT																																																																																																																															
HEIGHT & BULK :	35'-0" MAX. HEIGHT INCREASE DUE TO DENSITY BONUS																																																																																																																															
LOT AREA :	9,505 SF																																																																																																																															
FRONT & SIDE SETBACK :	NOT REQUIRED																																																																																																																															
REAR YARD SETBACK :	10'-0" REQUIRED. REDUCED DUE TO DENSITY BONUS.																																																																																																																															
OPEN SPACE :	2,362 SF GROUND LEVEL YARD UNIT 5 - 8 PRIVATE OPEN SPACE @ 2ND FLOOR PROVIDED 501 SF ROOF TOP DECK - COMMON OPEN SPACE PROVIDED 1,122 SF																																																																																																																															
OCCUPANCY GROUPS :	R-2, M & S-2																																																																																																																															
CONSTRUCTION TYPE :	TYPE V-B, FULLY SPRINKLERED THROUGHOUT																																																																																																																															
STORIES :	3 67% OF STANDARD PARKING TOTALS + GUEST PARKING (1 SPACE PER EVERY 5 UNITS) 16 UNITS x 0.67 = 11 16 UNITS x 1 SPACE/5UNITS = 3 TOTAL NUMBER = 14 PARKING SPACES																																																																																																																															
PARKING :	HANDICAP SPACES REQUIREMENT 5%, PER CBC 2016, SECTION 1109A.5 = 14X0.05 = 1 PROVIDED: - 7 REGULAR 9'X18' SPACES - 6 COMPACT 8'X16' SPACES AND - 1 HANDICAP 9'X18' SPACE																																																																																																																															
BICYCLE STORAGE :	PROVIDED 1 PER DWELLING UNIT: 16 SPACES OF CLASS 1																																																																																																																															
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COVER SHEET

DATE: 1-13-2020

SCALE:

DRAWN: GDG

JOB: 1801

SHEET:

A0.0

G.1.17

1/13/2020 10:56:24 AM

DATE: 11-24-18
PHOTOS TAKEN BY: JOHN GOLDMAN

ISSUES
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172 RUSS STREET
SAN FRANCISCO
CALIFORNIA 94103
415-391-1339
415-621-3393 f

36-50 San Bruno Avenue
Brisbane, CA 94005

EXISTING SITE PHOTOS

DATE: 1-13-2020
SCALE: 1/32" = 1'-0"
DRAWN: Author
JOB: 1801
SHEET:

A0.1

1/13/2020 10:56:29 AM



1 - VIEW TOWARDS EAST PROPERTY



2 - VIEW TOWARDS EAST PROPERTY



3 - VIEW TOWARDS CORNER OF EAST AND SOUTH PROPERTY



4 - VIEW TOWARDS CORNER OF EAST AND SOUTH PROPERTY



5 - VIEW TOWARDS SOUTH PROPERTY



6 - VIEW TOWARDS SOUTH PROPERTY



7 - VIEW TOWARDS SOUTH PROPERTY



8 - VIEW TOWARDS WEST PROPERTY



9 - VIEW TOWARDS WEST PROPERTY



10 - VIEW TOWARDS WEST PROPERTY



11 - VIEW TOWARDS WEST PROPERTY



12 - VIEW TOWARDS WEST PROPERTY



13 - VIEW TOWARDS WEST PROPERTY



14 - VIEW TOWARDS SAN BRUNO AVENUE



15 - VIEW TOWARDS SAN BRUNO AVENUE



16 - VIEW TOWARDS SAN BRUNO AVENUE



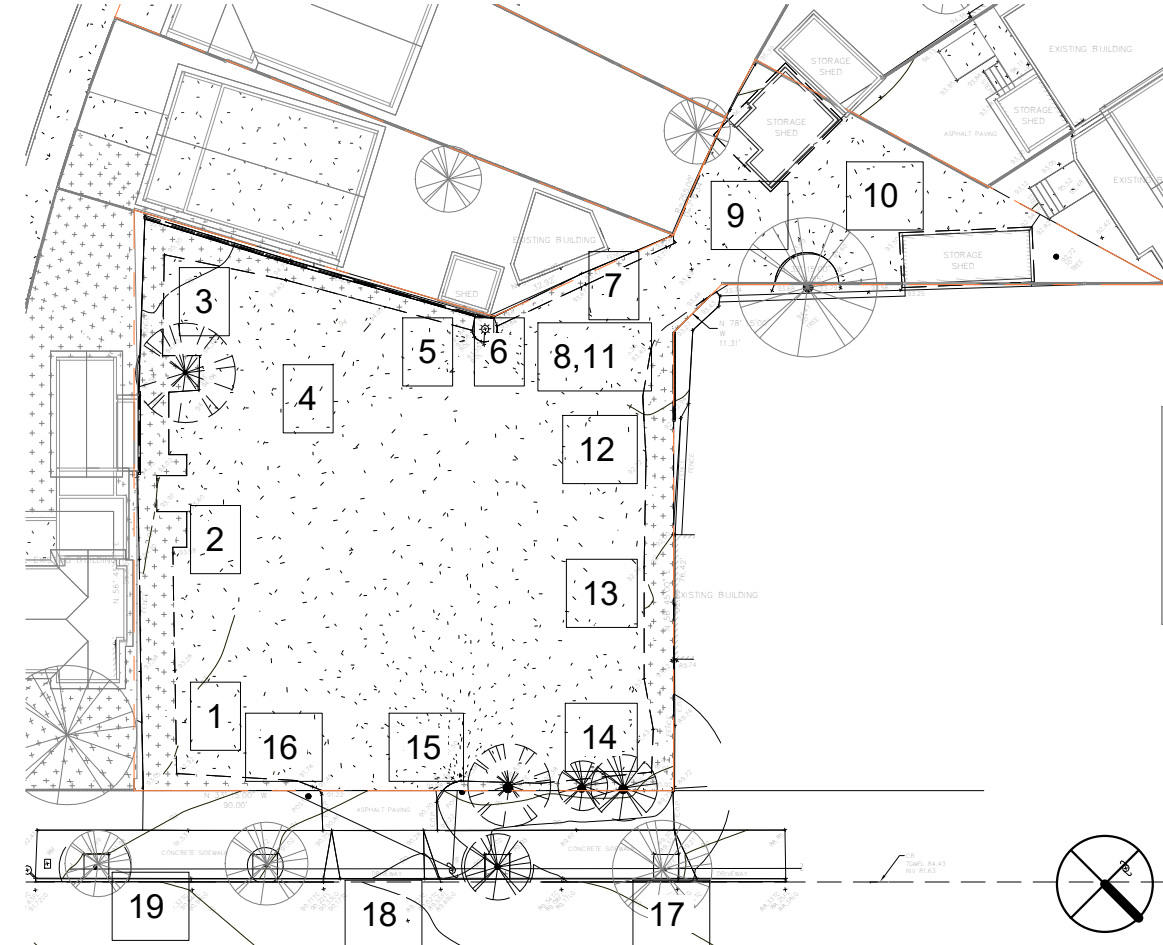
17 - VIEW ACROSS THE STREET



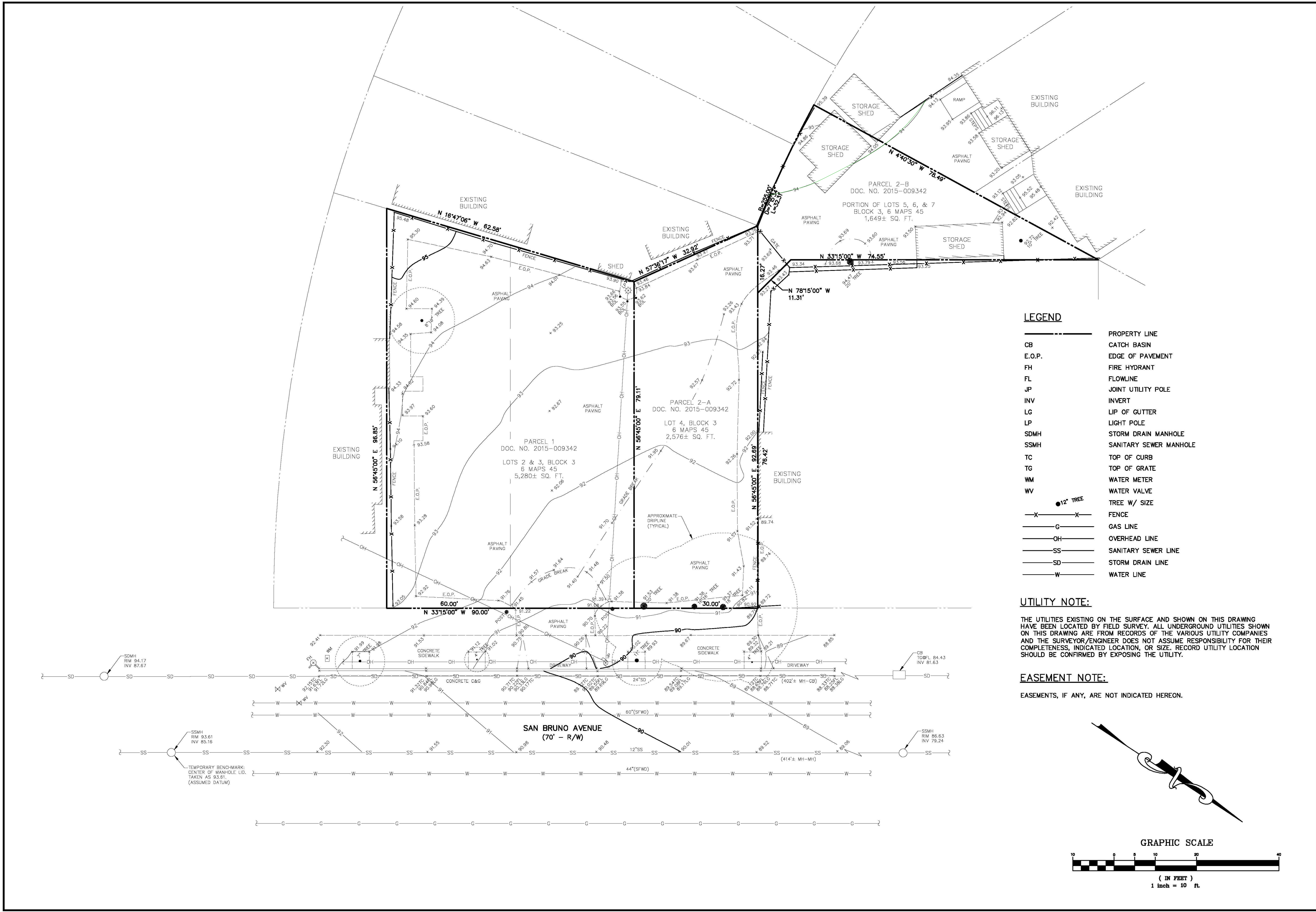
18 - VIEW ACROSS THE STREET



19 - VIEW ACROSS THE STREET



1 PHOTO KEY PLAN
1/32" = 1'-0"



LEGEND

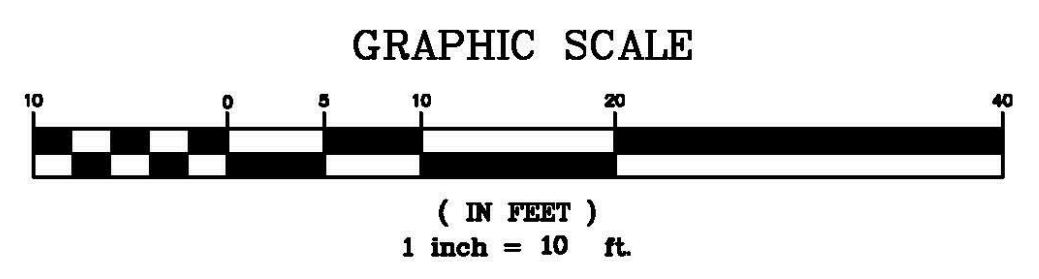
- PROPERTY LINE
- CB CATCH BASIN
- E.O.P. EDGE OF PAVEMENT
- FH FIRE HYDRANT
- FL FLOWLINE
- JP JOINT UTILITY POLE
- INV INVERT
- LG LIP OF GUTTER
- LP LIGHT POLE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- TC TOP OF CURB
- TG TOP OF GRATE
- WM WATER METER
- WV WATER VALVE
- 12" TREE
- X — FENCE
- G — GAS LINE
- OH — OVERHEAD LINE
- SS — SANITARY SEWER LINE
- SD — STORM DRAIN LINE
- W — WATER LINE

UTILITY NOTE:

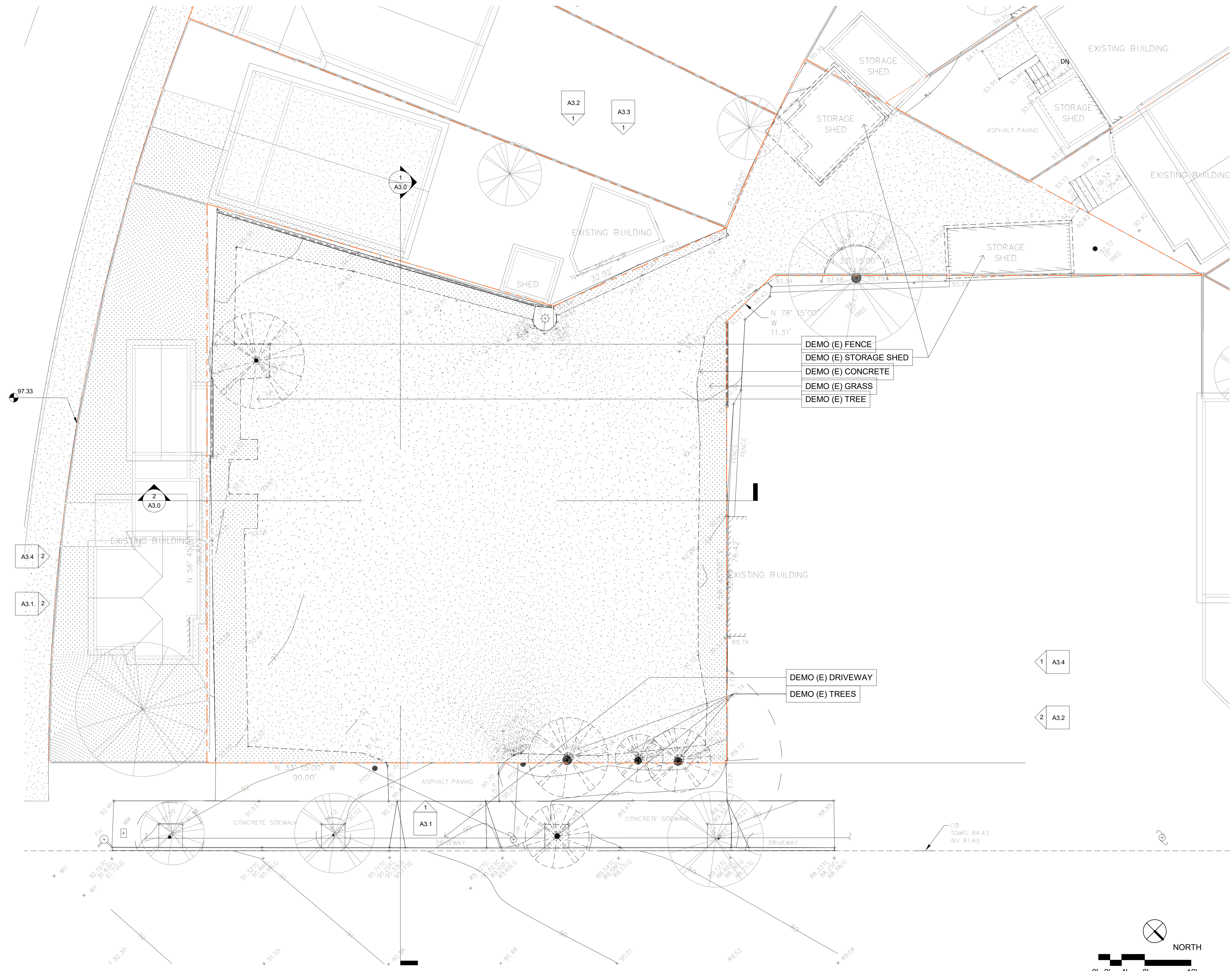
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR/ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

EASEMENT NOTE:

EASEMENTS, IF ANY, ARE NOT INDICATED HEREON.



DAINS LAND SURVEYING rdains@dainslandsurveying.net (650) 743-0831	
PREPARED FOR: JOEL DIAZ	TOPOGRAPHIC SURVEY PLAN VACANT LAND - SAN BRUNO AVENUE A.P.N. 007-222-020 & 003 PARCELS 1 & 2-A, DOC. NO. 2015-009342 BRISBANE SAN MATEO COUNTY CALIFORNIA
DRAWN BY: RJD DESIGNED BY: --- CHECKED BY: RJD SCALE: 1"=10' DATE: 3/2/17 PROJECT NO. 17-670 SHEET 1 OF 1	REV. DESCRIPTION BY: DATE: ADD ADDITIONAL SURVEY AREA RJD 6/2/17



1 EXISTING SITE PLAN
1/8" = 1'-0"

ISSUES
1
2
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6



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36-50 San Bruno Avenue
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**EXISTING SITE PLAN -
DEMOLITION PLAN**

DATE:	1-13-2020
SCALE:	1/8" = 1'-0"
DRAWN:	Author
JOB:	1801
SHEET:	

A1.0

ISSUES
1
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172 RUSS STREET
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415-391-1339
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36-50 San Bruno Avenue
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GRADING PLAN

DATE:	1-13-2020
SCALE:	1/8" = 1'-0"
DRAWN:	Author
JOB:	1801
SHEET:	

A1.1
G.1.21

- ### NOTES
- #### SITE DESIGN MEASURES
- DIRECT RUNOFF ONTO VEGETATED AREAS.
 - DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS AND/OR PATIOS ONTO VEGETATED AREAS.
 - CONSTRUCT SIDEWALKS, WALKWAYS, AND/OR PATIOS WITH PERMEABLE SURFACES.
 - MINIMIZE LAND DISTURBANCE AND IMPERVIOUS SURFACE (ESPECIALLY PARKING LOTS).
 - MAXIMIZE PERMEABILITY BY CLUSTERING DEVELOPMENT AND PRESERVING OPEN SPACE.

- #### BEST MANAGEMENT PRACTICE (BMP'S)
- THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM'S CONSTRUCTION BMP PLAN SHEET IS ATTACHED. CONTRACTOR TO IMPLEMENT THE APPLICABLE BMP'S ON THE PLAN SHEET.
 - PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER.
 - TRAP SEDIMENT ON-SITE. USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
 - DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G., SWALES AND DIKES)

- #### SITE GRADING, DRAINAGE NOTES & CALCULATIONS
- ALL DOWNSPOUTS SHALL BE CONNECTED TO TERMINATE AT CITY STORM DRAIN SYSTEM.
 - PROVIDE 2% SLOPE FOR IMPERVIOUS SURFACES. THE FINAL GRADING WILL NOT INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
 - GRADING CUT AND FILL CALCULATIONS:
- ALL CUTS FOR FOUNDATION TO BE UTILIZED ON SITE FOR LANDSCAPING. NET REMOVAL OF SOIL, LESS THAN 250 CUBIC YARDS.
 - STORM WATER CALCULATIONS (6,787 SF INCLUDING DECKS = 0.16 ACRE); C=0.9; I = 2.9 IN/H
 $Q = CIA = 0.9 \times 2.9 \times 0.16 = 0.42$
 $Q \times 449 = 0.42 \times 449 = 188.58 \text{ GPM}$

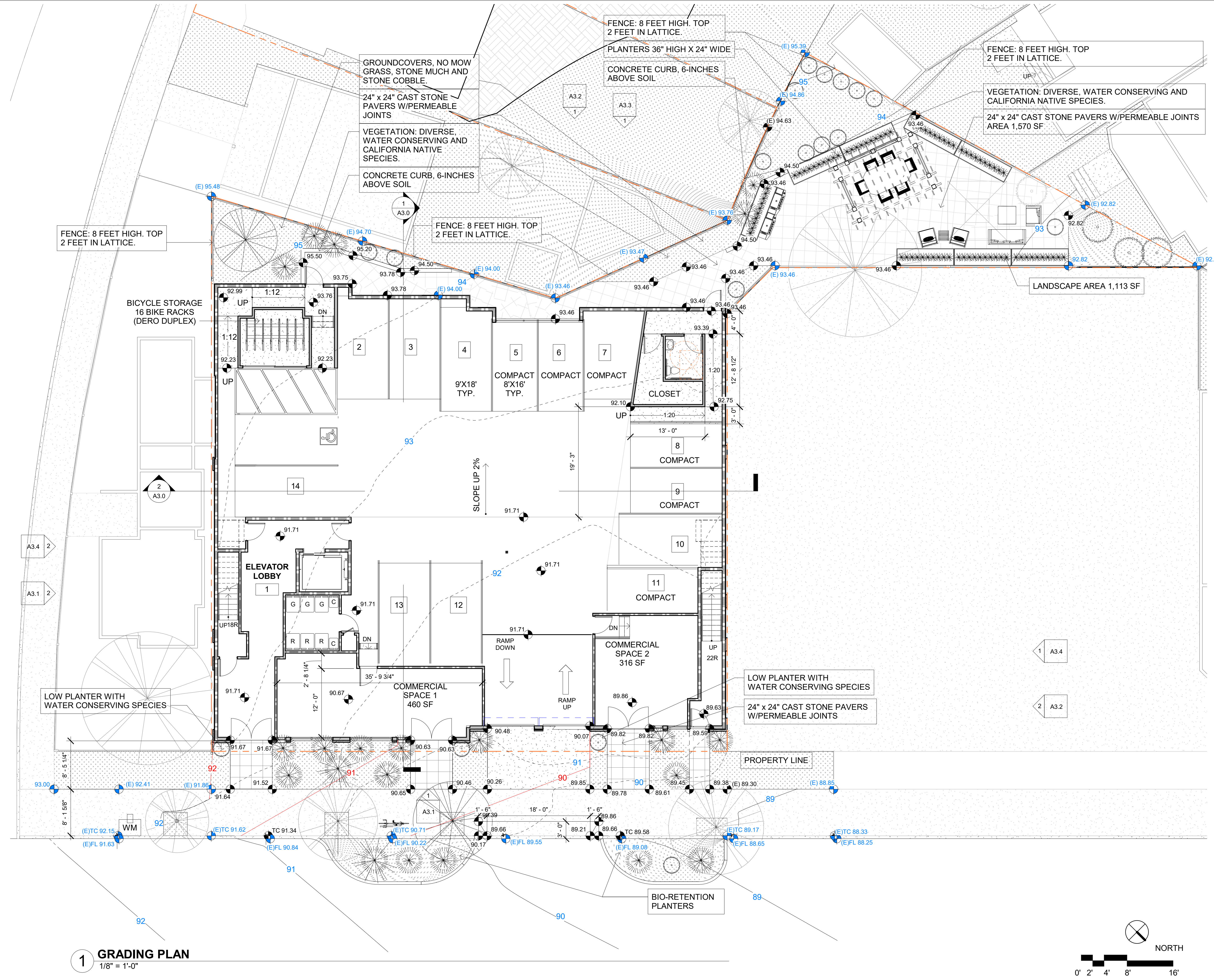
ON SITE CUT CALCULATION:
GROUND FLOOR GROSS SQUARE FOOTAGE: 6,787 SF
ESTIMATED CUT 1 FEET TO ACCOMMODATE FOOTINGS
 $6,787 \times 1' = 6,787/27 = 251.37 \text{ CUBIC YARDS}$

FILL:
PLANTERS ON SITE AND ROOF TOP 3' x 3' x 224' + 1' x 1' x 34' =
 $2,058 \text{ CUBIC FEET} = 2,058/27 = 76 \text{ CUBIC YARDS}$

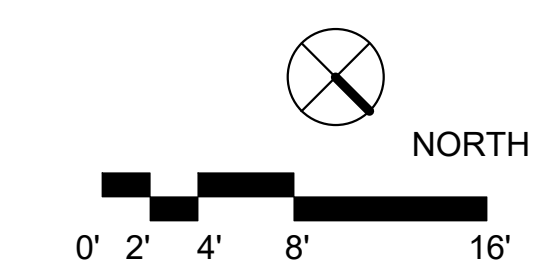
EXPORT:
251 - 76 = 175 CUBIC YARDS

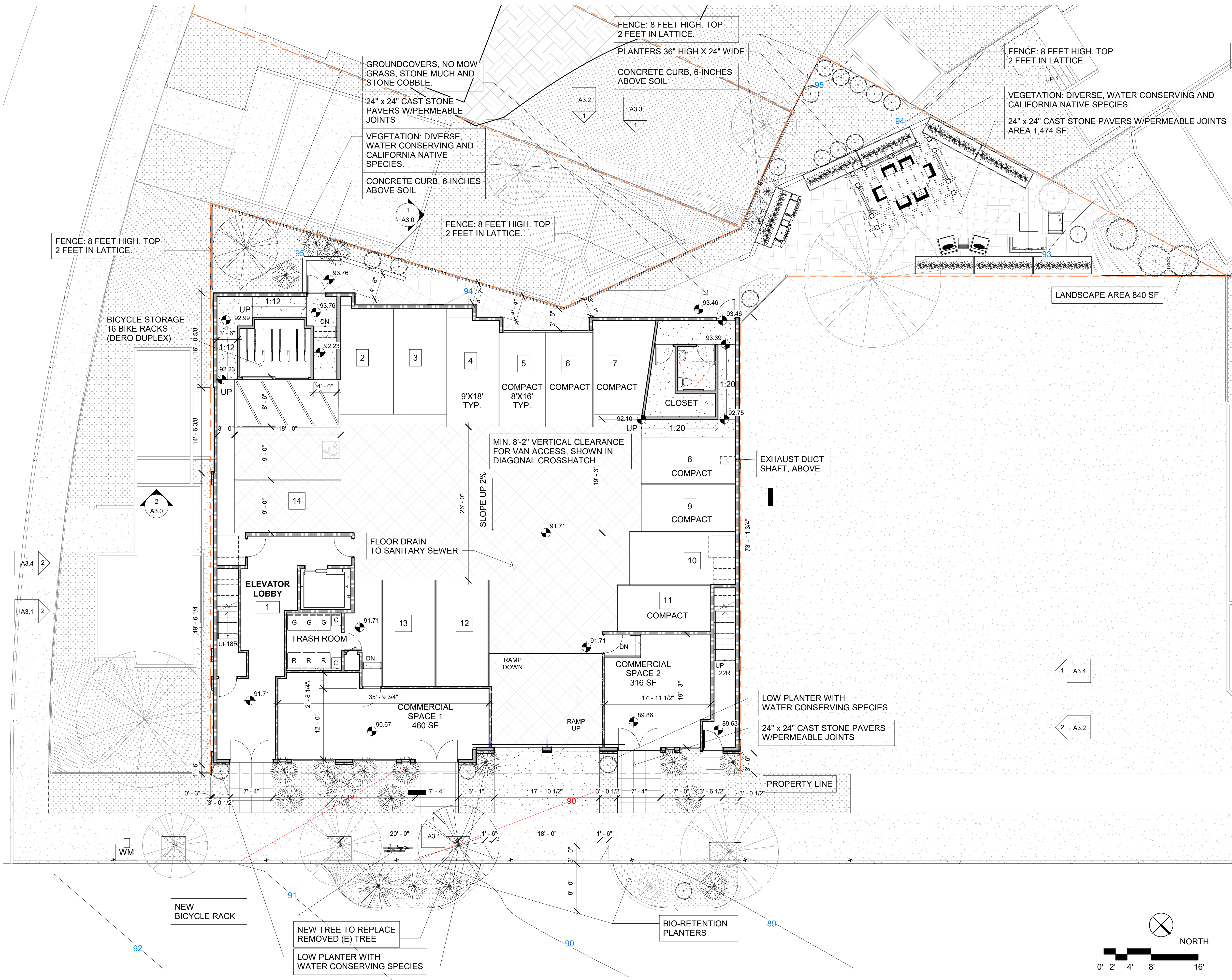
IMPORT:
0 CUBIC YARDS

- ### LEGEND
- 89 — EXISTING CONTOURS TO REMAIN
 - 92 - - EXISTING CONTOURS TO BE DEMOLISHED
 - 90 — NEW CONTOURS
 - 89.45 — NEW ELEVATION
 - (E) 89.30 — EXISTING ELEVATION



1 GRADING PLAN
1/8" = 1'-0"





NOTES

SOURCE CONTROL MEASURES

- PARKING GARAGE:**
 - INTERIOR PARKING GARAGE FLOOR DRAINS TO BE PLUMB INTO SANITARY SEWER.
- LANDSCAPING:**
 - RETAIN EXISTING VEGETATION AS PRACTICABLE.
 - SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE.
 - INCLUDE PLANTS THAT ARE PEST-AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS.
 - MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
 - USE EFFICIENT IRRIGATION SYSTEM; DESIGN TO MINIMIZE RUNOFF.
- REFUSE AREAS:**
 - PROVIDE A ROOFED AND ENCLOSED AREA FOR DUMPSTERS, RECYCLING CONTAINERS, ETC., DESIGNED TO PREVENT STORMWATER RUN-ON AND RUNOFF.
 - CONNECT ANY DRAINS IN OR BENEATH DUMPSTERS, COMPACTORS, AND TALLOW BIN AREAS SERVING FOOD SERVICE FACILITIES TO THE SANITARY SEWER.
- FIRE SPRINKLERS:**
 - DESIGN FOR DISCHARGE OF FIRE SPRINKLER TEST WATER TO LANDSCAPE OR SANITARY SEWER.
- MISCELLANEOUS DRAIN OR WASH WATER:**
 - DRAIN CONDENSATE OF AIR CONDITIONING UNITS TO LANDSCAPING. LARGE AIR CONDITIONING UNITS MAY CONNECT TO THE SANITARY SEWER.
 - ROOF DRAINS SHALL DRAIN TO UNPAVED AREA WHERE PRACTICABLE.
 - DRAIN BOILER DRAIN LINES, ROOF TOP EQUIPMENT, ALL WASHER TO SANITARY SEWER.

LANDSCAPE NOTES AND FINISHES

- CAST STONE PAVERS 24" X 24", WITH MINIMUM 1/4" PERMEABLE JOINTS. NAPA VALLEY CAST STONE OR EQ.
- 6' HIGH FENCE. RED CEDAR CLEAR, REDWOOD CLEAR, OR EQ. + 2' HIGH LATTICE/LATHE PANELS.
- GROUNDCOVERS, NO MOW GRASS, STONE MUCH AND STONE COBBLE.
- SHRUBS & PERENNIALS, 2-4 FEET HIGH, MAXIMUM SPREAD 3 FEET. (BERKELEY SEDGE, ROCK ROSE CRESS, CALIFORNIA GOLDEN BUSH, CALIFORNIA FESCUE, IRIS DOUGLASIANA, LOMANDRA, LAVENDER).
- TREES 25-60 FEET HIGH, MAXIMUM SPREAD COVER 10-20 FEET: ITALIAN CYPRES, CALIFORNIA INSENCE CEDAR, CREPE MURTLE.

ISSUES
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172 RUSS STREET
 SAN FRANCISCO
 CALIFORNIA 94103
 415-391-1339
 415-621-3393

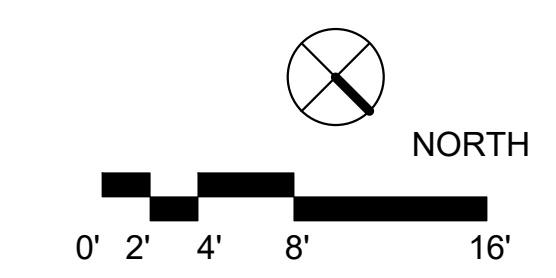
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 Brisbane, CA 94005

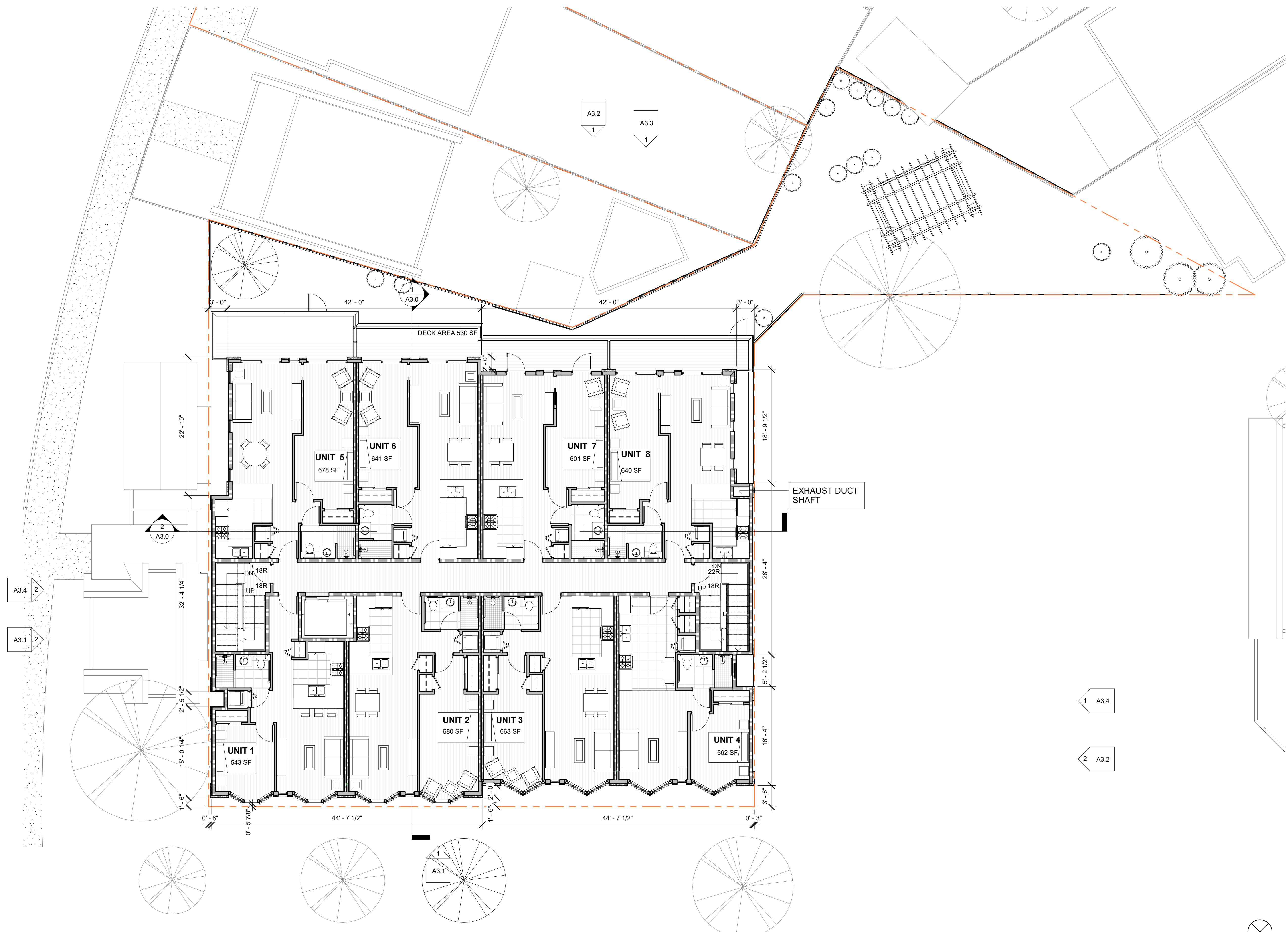
**PROPOSED SITE /
 GROUND FLOOR PLAN**

DATE: 1-13-2020
 SCALE: 1/8" = 1'-0"
 DRAWN: Author
 JOB: 1801
 SHEET:

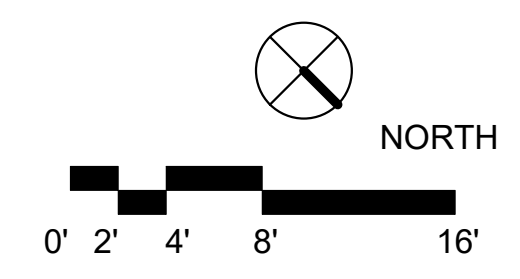
A2.1

1 01 GROUND FLOOR
 1/8" = 1'-0"





1 02 SECOND FLOOR
1/8" = 1'-0"



ISSUES	
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415-621-3393 f

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SECOND FLOOR

DATE: 1-13-2020
SCALE: 1/8" = 1'-0"
DRAWN: Author
JOB: 1801
SHEET:

A2.2

G.1.23

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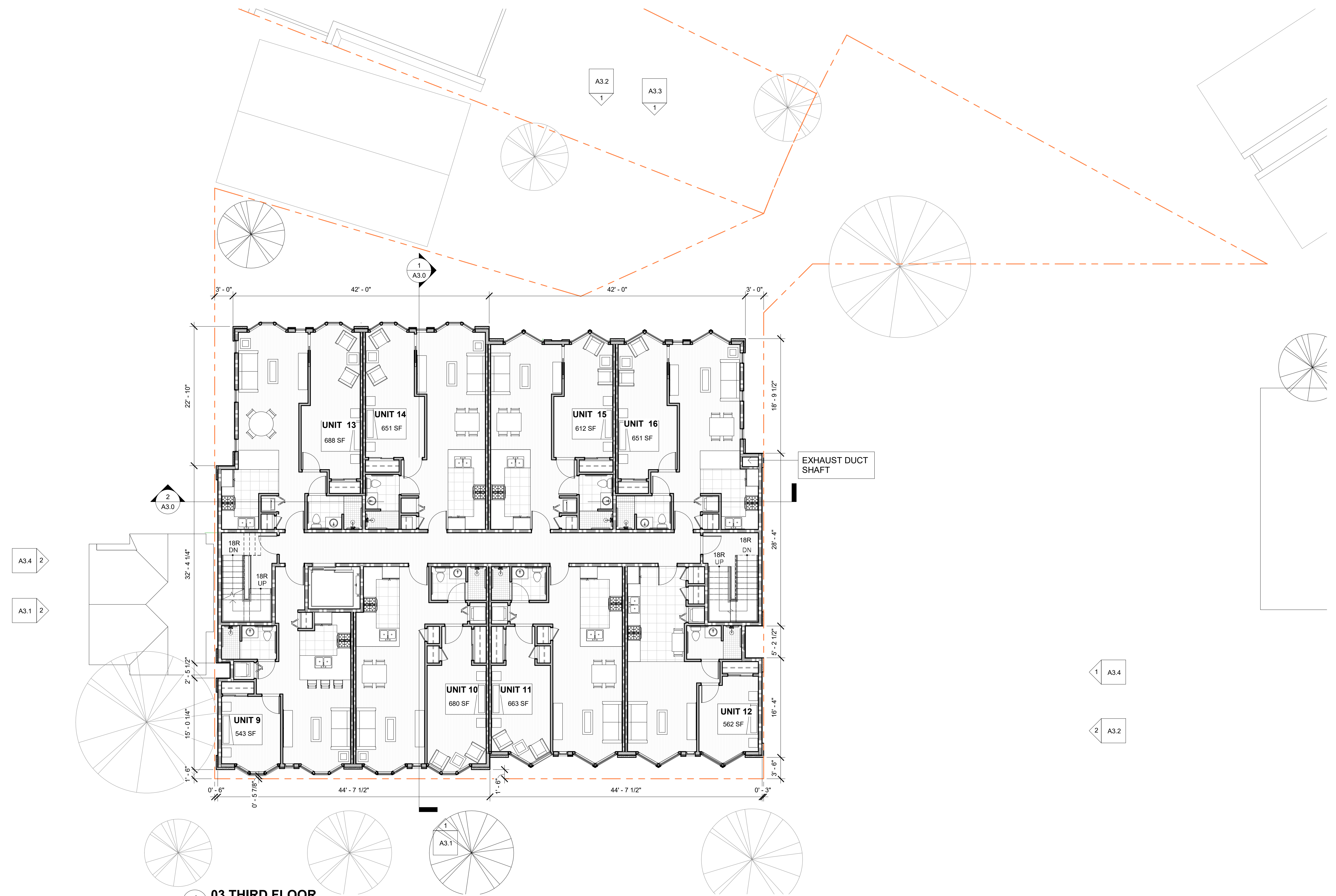
36-50 San Bruno Avenue
 Brisbane, CA 94005

THIRD FLOOR

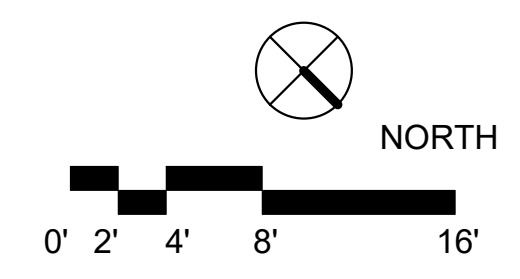
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 DRAWN: Author
 JOB: 1801
 SHEET:

A2.3

1/13/2020 10:56:03 AM



1 03 THIRD FLOOR
 1/8" = 1'-0"



ISSUES
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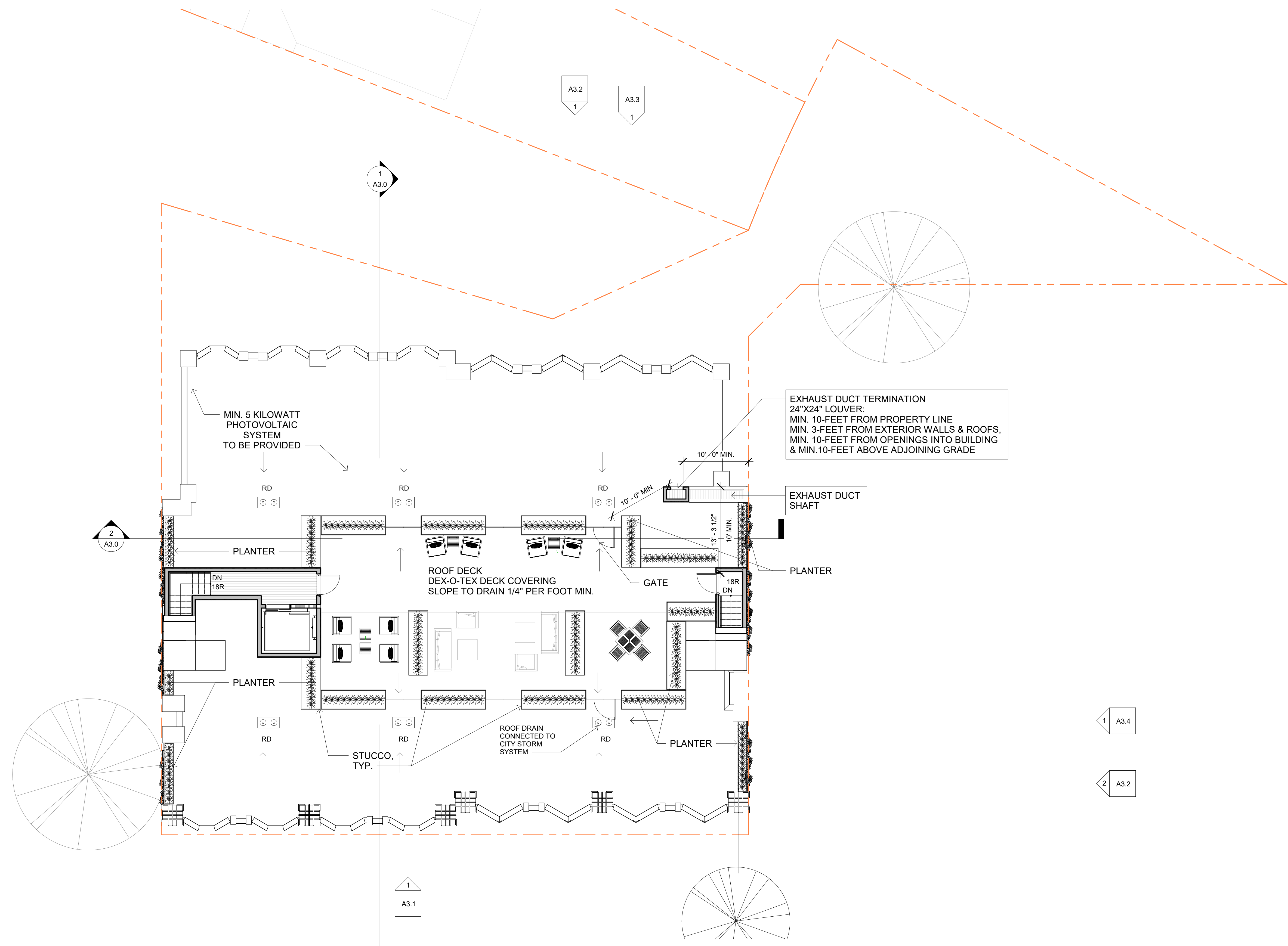
36-50 San Bruno Avenue
 Brisbane, CA 94005

ROOF PLAN

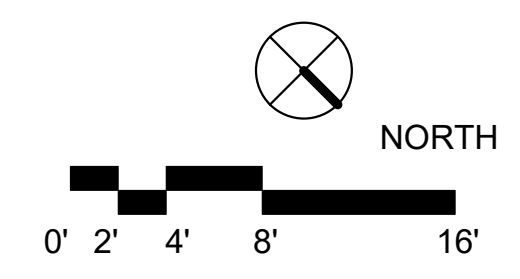
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 DRAWN: Author
 JOB: 1801
 SHEET:

A2.4

G.1.25



1 04 ROOF
 1/8" = 1'-0"



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ISSUES
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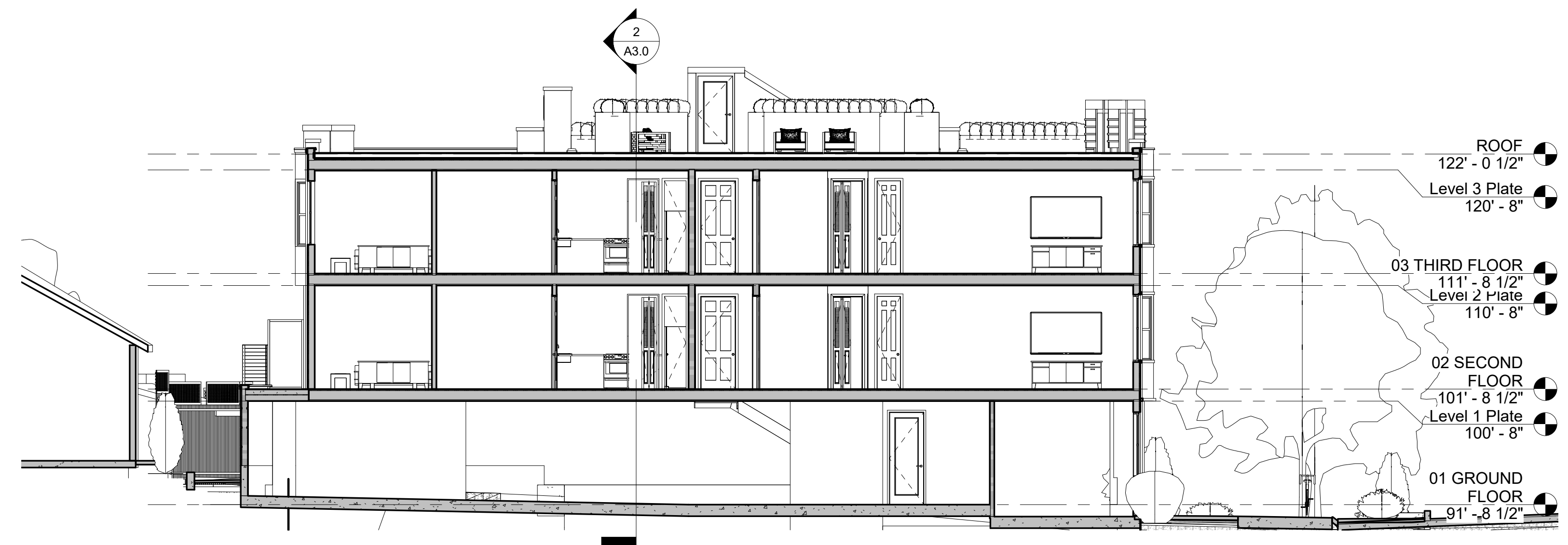
36-50 San Bruno Avenue
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BUILDING SECTIONS

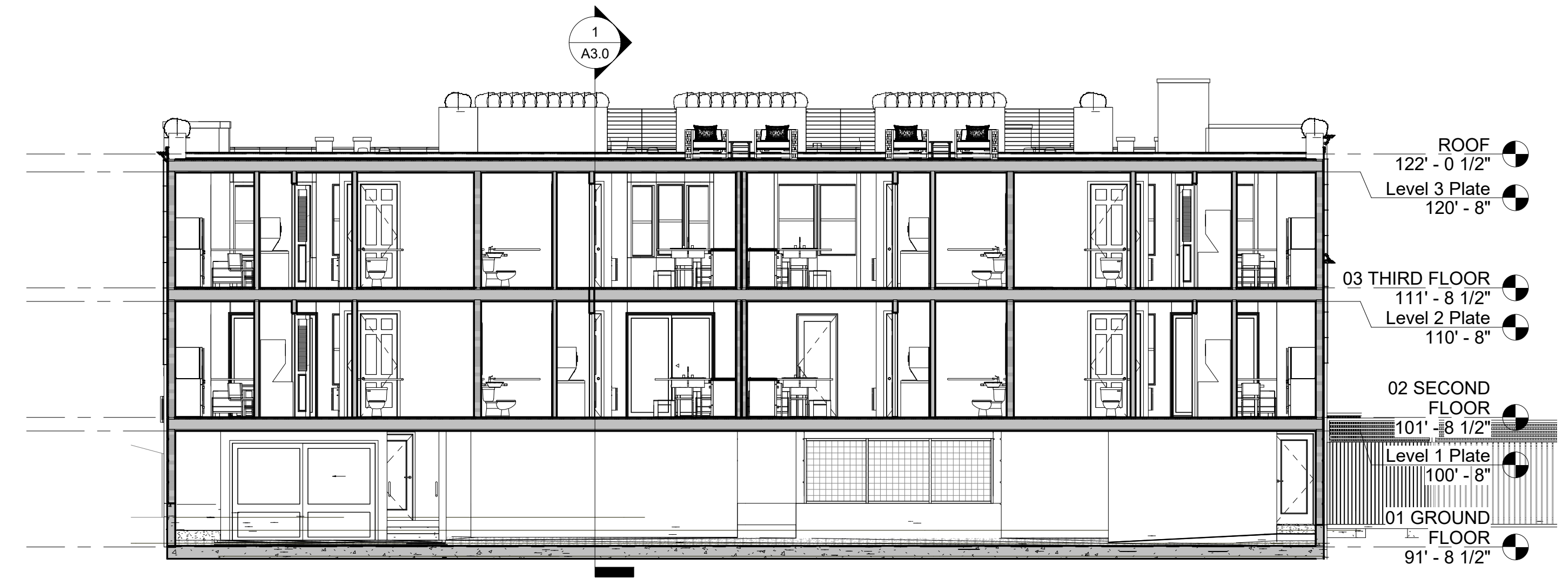
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 JOB: 1801
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A3.0

1/13/2020 10:56:42 AM



1 Section 2
 1/8" = 1'-0"



2 Section 3
 1/8" = 1'-0"

ISSUES
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BUILDING ELEVATIONS -
 EAST & SOUTH

DATE: 1-13-2020
 SCALE: 1/8" = 1'-0"
 DRAWN: GDG
 JOB: 1801
 SHEET:

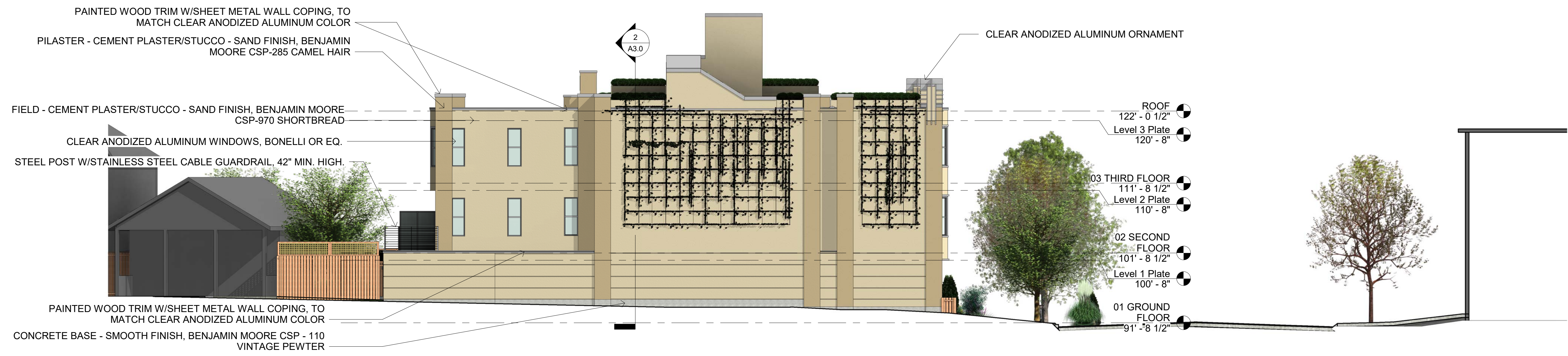
A3.1

G.1.27

1/13/2020 11:13:09 AM



1 SAN BRUNO AVENUE ELEVATION / EAST
 1/8" = 1'-0"



2 SIDE ELEVATION / SOUTH
 1/8" = 1'-0"



ISSUES	
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 Brisbane, CA 94005

BUILDING ELEVATIONS -
 WEST & NORTH

DATE:	1-13-2020
SCALE:	1/8" = 1'-0"
DRAWN:	Author
JOB:	1801
SHEET:	

A3.2

1/13/2020 11:34:33 AM



1 REAR YARD ELEVATION / WEST
 1/8" = 1'-0"



2 SIDE ELEVATION / NORTH
 1/8" = 1'-0"

