

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission

For the Meeting of 06/27/2019

SUBJECT: Use Permit UP-3-19; 133 Monterey Street; R-1 Residential District; Use Permit to allow conversion of an existing detached garage into an Accessory Dwelling Unit, eliminating one of two required parking spaces for the main dwelling unit; James and Mea Christie, applicants/owners.

REQUEST: The applicant requests Use Permit approval to allow nonconforming parking for an approximately 838 sq ft single-family home in order to allow conversion of an existing 255 sq ft detached garage into an accessory dwelling unit (ADU), displacing one of the two required parking spaces for the single-family home. Due to the existing site development, the displaced parking space cannot be replaced elsewhere on the property.

RECOMMENDATION: Approve Use Permit UP-3-19 via adoption of Resolution UP-3-19, containing the findings and conditions of approval.

ENVIRONMENTAL DETERMINATION: Conversions of existing accessory structures, including garages, from one use to another where only minor modifications are made to the exterior of the structure are categorically exempt from the provisions of the California Environmental Quality Act per Section 15303(a) of the CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

APPLICABLE CODE SECTIONS: Chapter 17.34 of the Brisbane Municipal Code (BMC) contains the parking requirements for single-family homes and describes the circumstances and findings for approval of modifications to parking standards via Use Permit approval. BMC Chapter 17.40 contains the requirements and required findings for approving Use Permits. California Government Code Section 65852.2 allows local jurisdictions to require parking spaces displaced by conversion of existing garages into ADUs to be replaced elsewhere on the property.

ANALYSIS AND FINDINGS:

Project Description

The subject property is substandard in regards to lot size (2,880 sq ft), width (32 ft), and depth (90 ft). It is developed with an approximately 838 sq ft, two-bedroom home and 255 sq ft detached, one-car garage, which comply with the maximum floor area ratio of 0.72 FAR but exceed the 40% lot coverage by approximately 80 sq ft. The detached garage additionally maintains nonconforming rear and side setbacks and is accessed via a shared driveway that straddles the shared property line with 141 Monterey Street to the east. Per the applicant's site plan (Attachment D), other development on the site includes a patio and two small decks in the

rear yard between the home and the garage. The front yard, approximately 11 ft, 7 inches in depth, is landscaped, as is the remainder of the rear yard adjacent to the garage.

Per BMC Chapter 17.34, the required off-street parking requirement for a two-bedroom single-family home with less than 1,800 sq ft in floor area is two spaces, one of which must be covered. The subject property currently meets the off-street parking requirement via the one-car garage and one compact (8 ft x 16 ft) parking space in tandem to the garage (refer to the applicant's site plan annotated by staff, Attachment D).

The proposed project would convert the detached one-car garage to an accessory dwelling unit (ADU), displacing the required covered parking space for the single-family home. While additional parking is not required for ADUs per BMC Chapter 17.34, the City can and does require that required parking spaces for the single-family home be replaced elsewhere on the property, though the City cannot require the replacement parking space(s) be covered or prohibit their location in tandem to other parking spaces (CA Government Code §65852.2). The applicant has requested Use Permit approval to accept one off-street parking space for the property, allowing the covered parking space for the single-family home to be eliminated and not replaced elsewhere on the site.

As of this writing, one letter of objection was received by staff and is attached for the Commission's reference (Attachment E).

Use Permit Analysis

In order to approve a Use Permit to modify the parking regulations for the single-family home as proposed, the Planning Commission must affirmatively make the findings in BMC Chapter 17.40, in addition to the findings contained in BMC §17.34.050.I. The application **meets these findings**, as detailed in the analysis below.

- The planning commission shall consider and give due regard to the nature and condition of all adjacent uses and structures, and to general and specific plans for the area in question.

The subject property is located in Central Brisbane in the 100 block of Monterey Street, adjacent to properties developed with single-family homes on Monterey Street and Alvarado Street. As ADUs are considered accessory to the primary single-family use of the property, the existing single-family use of the property would not be altered, and is consistent with the underlying R-1 zoning district regulations and General Plan residential land use designation. There is no specific plan for this area.

- The planning commission shall determine whether or not the establishment, maintenance or operation of the use applied for will, under the circumstances of the particular case, be detrimental to the health, safety, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or

detrimental to property and improvements in the neighborhood or the general welfare of the city.

The project would meet this finding. While the existing site development is nonconforming in regards to the 40% lot coverage maximum, the property is conforming in regards to the maximum 0.72 FAR, and the project proposes no expansion for the existing two-bedroom, 838 sq ft single-family home. Therefore, no intensification of the existing single-family use is proposed. The existing uncovered parking space tandem to the garage/proposed ADU would be retained for use by the single-family dwelling.

Should the requested use permit be approved, the building permit application for the ADU conversion for the garage would be subject to review and approval by the Building Department, Fire Department, and other responsible City Departments to ensure the work complies with all applicable health and safety codes.

- Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.

With the recommended conditions of approval, the project would meet this finding. While the garage would be converted into an ADU, no additional parking is required to serve the ADU under both the BMC and governing State regulations. As previously indicated, the project would retain the existing compact parking space tandem to the garage/proposed ADU, accessed from the shared driveway with 141 Monterey Street. Due to the requirement incumbent on both property owners to maintain egress and ingress to both properties via the shared driveway, minimal enforcement is required on the City's behalf to ensure that the space remains accessible for parking. To ensure the existing space remains accessible for parking, Condition of Approval C requires that the existing parking space be reserved at all times for exclusive parking use and that it not be obstructed with fencing, decking, or other physical obstructions. Any future expansion of the single-family home would trigger new review of the property's compliance with parking requirements.

- The granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of [BMC Chapter 17.34].

The project would meet this finding. As with most residential streets in Central Brisbane, on-street parking is limited, due to a combination of small lot sizes, lack of off-street parking, limited functionality of existing off-street parking facilities, or preferences by some property owners to utilize existing off-street parking facilities for purposes other than parking vehicles. The existing perceived shortage of on-street parking has thus been assumed by the Commission in the past to exist along nearly every street in Central Brisbane.

While the BMC does accept required off-street parking spaces within the public right-of-way adjacent to a property's frontage, the frontage must be at least 37.5 ft long (BMC §17.34.050.H.2). The subject property's 32 ft frontage renders the property ineligible for such an

exception, and an existing utility pole and street tree further obstructs parking along the frontage. However, 110 Alvarado Street's approximately 85 ft lot line abutting Monterey Street is a side lot line, as the property is oriented towards and accessed from Alvarado Street, and thus cannot take "credit" for on-street parking spaces along that lot line per BMC §17.34.050.H.2. Thus, while a fully compliant on-street parallel parking space cannot be accommodated adjacent to the subject property's frontage, approximately five parking spaces can be accommodated in the immediate vicinity that are available not only for use by the subject property but surrounding properties on the 100-block of Monterey Street.

- Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints.

The project would meet this finding. As discussed above, the property's 32 ft frontage is insufficient to accommodate a Code-compliant on-street parking space per BMC §17.34.050.H.2. The front yard is approximately 11 ft, 7 inches deep and 12 ft, 10 inches wide, which is insufficient to accommodate a code compliant parking space either parallel to or perpendicular to the front lot line (parked vehicles are not permitted to block the sidewalk). At approximately 12 ft wide, the shared driveway is too narrow to accommodate parking without impeding access to the garage at 141 Monterey Street. The remaining rear yard is developed with a patio, decks, and garden area to accommodate reasonable outdoor living space for the property owners.

ATTACHMENTS:

- A. Draft Resolution UP-3-19 with recommended Findings and Conditions of Approval
- B. Vicinity map
- C. Site photos
- D. Applicant's plans and supporting statements
- E. Written communications



Julia Ayres, Associate Planner



John Swiecki, Community Development Director

Draft

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE
CONDITIONALLY APPROVING USE PERMIT UP-3-19
TO MODIFY THE PARKING REGULATIONS
FOR AN EXISTING SINGLE-FAMILY DWELLING
AT 133 MONTEREY STREET

WHEREAS, James and Mea Christie applied to the City of Brisbane for a Use Permit to modify the parking regulations for a two-bedroom, 838 sq. ft. single-family dwelling at 133 Monterey Street to allow one off-street parking space where two off-street parking spaces are required, in order to allow conversion of an existing one-car detached garage into an accessory dwelling unit (ADU), such application being identified as UP-3-19; and

WHEREAS, on June 27, 2019, the Planning Commission conducted a hearing of the application, publicly noticed in compliance with Brisbane Municipal Code Chapters 1.12 and 17.54, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the staff memorandum relating to said application, and the written and oral evidence presented to the Planning Commission in support of and in opposition to the application; and

WHEREAS, the Planning Commission finds that the proposed project is categorically exempt from the provisions of the California Environmental Quality Act; pursuant to Section 15303(a) of the State CEQA Guidelines; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein, as Exhibit A, in connection with the requested use permit;

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of June 27, 2019 did resolve as follows:

Use Permit UP-3-19 is approved per the findings and conditions of approval attached herein as Exhibit A.

ADOPTED this 27th day of June, 2019, by the following vote:

AYES:
NOES:
ABSENT:

PAMALA SAYASANE
Chairperson

ATTEST:

JOHN A. SWIECKI, Community Development Director

DRAFT
EXHIBIT A

Action Taken: Conditional approval of Use Permit UP-3-19, per the staff memorandum with attachments, via adoption of Resolution UP-3-19.

Use Permit UP-3-19 Findings:

- The planning commission shall consider and give due regard to the nature and condition of all adjacent uses and structures, and to general and specific plans for the area in question.

The existing single-family use of the property would not be altered, and is consistent with the underlying R-1 zoning district regulations and General Plan residential land use designation. There is no specific plan for this area.

- The planning commission shall determine whether or not the establishment, maintenance or operation of the use applied for will, under the circumstances of the particular case, be detrimental to the health, safety, comfort and general welfare of the persons residing or working in the neighborhood of such proposed use, or whether it will be injurious or detrimental to property and improvements in the neighborhood or the general welfare of the city.

Because the project proposes no expansion for the existing two-bedroom, 838 sq ft single-family home, elimination of one of two required off-street parking spaces would not be detrimental to the health, safety, comfort, and general welfare of the neighborhood or to property or improvements in the neighborhood or the general welfare of the city. The existing uncovered parking space tandem to the garage/proposed ADU would be retained for use by the single-family dwelling. Additionally, the building permit application for the ADU conversion for the garage shall comply with all applicable health and safety codes.

- Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site.

With the conditions of approval, strict enforcement is not required by present or anticipated future traffic circulation on the site. No additional parking is required to serve the ADU under both the BMC and governing State regulations, and the project would retain the existing compact parking space in tandem to the existing garage/proposed ADU.

- The granting of the use permit will not create or intensify a shortage of on-street parking spaces, given, for example, the availability of existing or improved on/off-street parking which may not fully meet the requirements of [BMC Chapter 17.34].

The granting of the use permit will not intensify the shortage of on-street parking spaces in the vicinity, as the existing compact parking space in tandem to the existing garage/proposed ADU will be retained and sufficient on-street parking is provided adjacent to the north side

property line of the adjacent property to the east at 110 Alvarado Street to accommodate the block's on-street parking needs.

- Full compliance with the parking requirements is not reasonably feasible due to existing structural or site constraints.

Full compliance with the parking requirements is not reasonably feasible due to existing structural and site constraints, namely the property's 32 ft frontage which is insufficient to accommodate a Code-compliant on-street parking space per BMC §17.34.050.H.2, insufficient area within the front yard to accommodate a code compliant parking space, narrow width of the shared driveway with 141 Monterey Street, and existing rear yard development and use with a patio, decks, and garden area to accommodate reasonable outdoor living needs of the property owners.

UP-3-19 Conditions of Approval:

Prior to Issuance of a Building Permit

- A. The applicant shall obtain a building permit prior to proceeding with construction. Plans submitted for the building and grading permits shall substantially conform to plans on file in the City of Brisbane Planning Department.
- B. Prior to issuance of a building permit, the property owner shall execute an Accessory Dwelling Unit Permit Agreement acknowledging the owner occupancy and other requirements of the City's Accessory Dwelling Unit regulations contained in BMC Chapter 17.43.
- C. The existing compact off-street parking space located in tandem to the existing garage/proposed accessory dwelling unit shall be maintained at all times for exclusive parking use and shall not be obstructed with fencing, decking, or other physical obstructions.
- D. All glass shall be nonreflective, and all exterior lighting shall be located so as not to cast glare upward or onto surrounding streets or properties.
- E. Water and sanitary sewer service and storm drainage details shall be subject to approval by the City Engineer.
- F. Drawings depicting all work completed and proposed shall be provided to the satisfaction of the City. Exposure of covered work may also be required to demonstrate compliance with building code requirements.
- G. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts, or determinations taken, done or made prior to the granting of such approval, permit, or entitlement.
- H. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.

- I. The Use Permit may be revoked by the City Council in compliance with the revocation findings, procedures, and requirements contained in BMC Chapter 17.48.

Aerial Site Map
133 Monterey Street



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Site Photos
133 Monterey Street

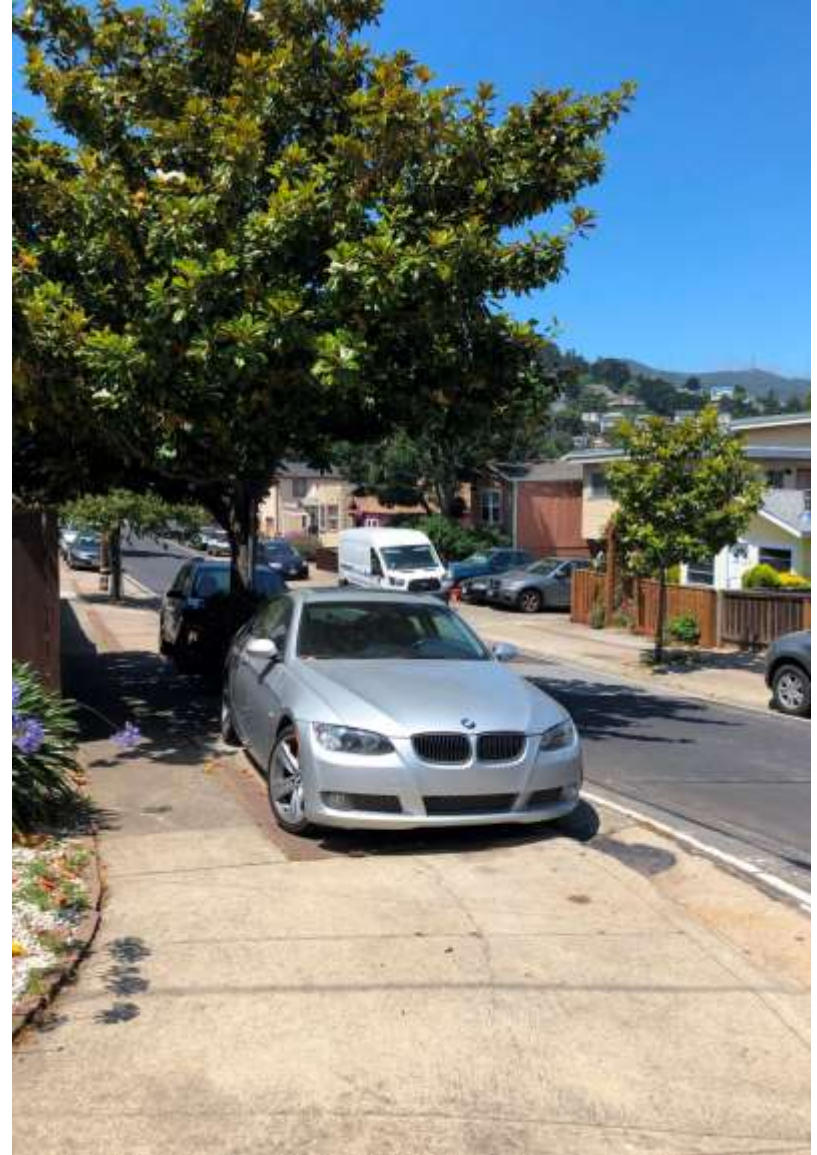


View from Monterey St (100-block, even) looking south at subject property

Site Photos
133 Monterey Street



View from 100-block of Monterey St. (even) looking east



View from 100-block of Alvarado St. (even) looking west

Site Photos
133 Monterey Street



View from rear patio south of backyard



View from shared driveway looking east (location of parking space to be retained on-site)

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**CHRISTIE RESIDENCE
(E) GARAGE TO (N) ADU CONVERSION
133 MONTEREY STREET
BRISBANE, CA 94005**

ABBREVIATIONS		REFERENCE SYMBOLS		ELECT/MECH SYMBOLS		BUILDING DATA		SHEET INDEX	
<p>& And d Penny Angle @ At C Center line O Dia. or round Perpendicular # Pound or No.</p> <p>AB Anchor Bolt ABV Above AC Asphalt Conc. ACOUS Acoustical ADH Adhesive ADJ Adjustable AGG Aggregate AL Aluminum AP Access Panel APX Approximate</p> <p>BD Board BEL Below BLK Block(ing) BM Beam BOT Bottom BRK Brick BS Both Sides BTWN Between</p> <p>CAB Cabinet CEM Cement CER Ceramic CI Cast Iron CLG Ceiling CLKG Caulking CLR Clear CMU Conc. Mas. Unit CNTR Counter COL Column COMPO Composition CONC Concrete CONN Connect(ion) CONST Construction CONT Continuous CPT Carpet</p> <p>DBL Double DEMO Demolish DF Douglas Fir DIA Diameter DIAG Diagonal DN Down DR Door DS Down Spout DRA Drawer</p> <p>EA Each EL Elevation ELEC Electrical ENCL Enclosure EQ Equal EQPT Equipment EW Each Way (EX) Existing</p>	<p>EXH Exhaust EXP Expansion EXPO Exposed EXT Exterior FBO Furnished by Owner FDN Foundation FIN Finish FL Floor (line) FLASH Flashing FLOUR Fluorescent FLX Flexible FOC Face of Conc. FOF Face of Fin. FOX Face of Stud FO Finished Opening FPL Fireplace FTG Footing FURR Furring FUT Future</p> <p>GA Gauge GALV Galvanized GB Grab Bar GI Grab Iron GL Glass/Glazing GR Grade (Ground) GYP Gypsum</p> <p>HBD Hard Board HD Heavy Duty HDR Header HWD Hardware HOR Horizontal HUR Horizontal INSUL Insulation JST Joist JT Joint MNT Mount(ed) MTL Metal</p> <p>MAS Masonry MC Medicine Cabinet MECH Mechanical MEMB Membrane MFR Manufacturer MIR Mirror MNT Mount(ed) MTL Metal</p> <p>NTS Not to Scale OC On Center OPNG Opening OPP Opposite P Plastic PAR Parallel</p>	<p>PBD Particle Bd. PFB Prefabricate(d) PL Plate (line) PLAS Plaster PLYWD Plywood PNL Panel(ing) PNT Paint(ed) PR Pair PRCST Pre Cast PT Pressure Treated</p> <p>QT Quarry Tile</p> <p>R Riser RAD Radius REINF Reinforce RELO Relocate REMO Remove REQD Required RESIL Resilient RO Rough Opeing RWD Redwood</p> <p>SSD See Struct. Dwg. SH Shelf SH Sheathing SIM Similar SLR Sealer SPEC Specification SQ Square SLD Standard S. STL Stainless Steel</p> <p>SUSP Suspended SYM Symmetrical</p> <p>T Tread TB Towel Bar TEMP Tempered T&G Tougue & Groove THRU Through TOS Top of Surface TPD Toilet Paper TPD Dispenser TYP Typical</p> <p>UON Unless Otherwise Noted UNF Unfinished</p> <p>WB White Brothers WD Wood WDW Window WI Wrought Iron W/O With (out) WP Waterproof WR Water Resistant WSCT Wainscot</p>	<p>GRID LINE REFERENCE BLDG & WALL SECTION REFERENCE DETAIL REFERENCE EXTERIOR ELEVATION REFERENCE INTERIOR ELEVATION REFERENCE TITLE SYMBOLS EXT. DOOR & WINDOW SYMBOL INTERIOR DOOR SYMBOL REVISION SYMBOLS COLOR / MATERIAL SYMBOL ROOM REFERENCE MATCH LINE, SHADED SIDE IS CONSIDERED PROPERTY LINE SETBACK LINE EXISTING CONTOURS NEW OR FINISHED CONTOURS TOP OF WALL TOP OF CURB TOP OF PAVEMENT FIXTURE OR EQUIPMENT SYMBOL</p>	<p>Duplex convenience outlet & plate Floor convenience outlet GFI duplex convenience outlet Fourplex outlet Duplex conv. outlet, 1/2 hot, 1/2 switched 220V amerage as per equipment GFI/W.P. weatherproof outlet Flush mounted floor & ceiling outlet Junction box Television outlet Telephone outlet & plate Flood light Ceiling fixture Wall light Porcelain receptacle w/ pull chain Indirect cove lighting Recessed ceiling can lights 4" recessed low voltage w/ directional trim Recessed ceiling light Waterproof ceiling fan/light & plate Recessed waterproof exterior up light Single pole switch 3 way switch Switch w/ dimmer Door activated switch Motion detector Timer (switch) Vacancy sensor w/ dimmer "manual on" Vacancy sensor "manual on" Weatherproof switch Countertop air switch Doorbell pushbutton Chime Smoke/Carbon detector Thermostat Special outlet Instant start florescent light Landscape light Electrical panel board Existing Delete existing Replace existing Gas outlet Hose bib Ceiling/floor supply register Ceiling/floor return register Wall diffuser T.V./Computer Outlet Central vacuum inlet Automatic garage door switch Alarm control keypad</p>	<p>APN #: : 007-291-050 LOT SIZE - : 2,880 SQ. FT. (E) FAR - : 946.5 SQ.FT. (E) GARAGE (DETACHED) : 289.0 SQ.FT. TOTAL : 1,235.5 SQ.FT. PERCENTAGE OF TOTAL LOT AREA: = 43 % ZONING : R1</p>	<p>T1.0 TITLE PAGE GN GENERAL NOTES CL CHECK LIST CG CAL GREEN REQUIREMENTS A1.0 EXISTING & PROPOSED SITE PLAN FAR FLOOR AREA CALC A2.0 ARCHITECTURAL DRAWINGS EXISTING MAIN HOME & GARAGE PROPOSED ADU A3.0 EXISTING & PROPOSED GARAGE/ADU A5.0 CONSTRUCTION DETAILS ME2.0 MECH. + ELECT. PLAN ME3.0 CUTSHEETS ME4.0 TITLE 24 ME4.1 TITLE 24 (CONT.) S.0 STRUCTURAL DRAWINGS S.1 CONVENTIONAL WOOD FRAME CONSTRUCTION CONVENTIONAL WOOD FRAME CONSTRUCTION</p>			
<p>MATERIAL SYMBOLS</p> <p>Bituminous paving Batt insulation Brick Veneer Stone Veneer Concrete Concrete Block Gravel / Rock fill Gypsum board Plywood Precast concrete Rigid insulation</p> <p>Sand/ Mortar/ Plaster Metal Metal Lath Wood frame construction Existing construction Existing construction removed Marble / tile Earth Wood Steel</p>		<p>APPLICABLE CODES</p> <p>2016 California Building Code 2016 California Historic Building Code 2016 Existing Residential Code 2016 California Residential Code 2016 California Plumbing Code 2016 California Mechanical Code 2016 California Electric Code 2016 California Energy Code 2016 California Fire Code CITY OF SAN MATEO MUNICIPAL CODE 2016 California Green Building Standards Code</p>		<p>CONSULTANTS</p> <p>DESIGNER FORM + ONE DESIGN CONTACT: TIM RADUENZ 4843 SILVER SPRINGS DRIVE PARK CITY, UT 84098 PHONE: 415-819-0304 TIM@FORMONEDSIGN.COM</p> <p>OWNER JAMES CHRISTIE 133 MONTEREY STREET BRISBANE, CA 94005</p> <p>TITLE 24 RICK ROCKLEWITZ NRG COMPLIANCE INC. PO BOX 3777 SANTA ROSA, CA 95402 PHONE: 707-237-6957</p> <p>CONTRACTOR ALLEN ASH ASH BROTHERS CONSTRUCTION INC 303 TWIN DOLPHIN DRIVE, SUITE 600 RED WOOD CITY, CA 94065 (415) 971-0679 LICENSE: 827999</p>		<p>SCOPE OF WORK</p> <p>1.(E) GARAGE TO (N) ADU CONVERSION</p>		<p>VICINITY MAP</p>	
<p>GREEN BUILDING MEASURE</p> <p>1. AN AUTOMATIC IRRIGATION SYSTEM CONTROLLER FOR LANDSCAPING WILL BE PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION. 2013 CGC § 4.304.1 2. A MINIMUM OF 50% OF THE NON- HAZARDOUS CONSTRUCTION AND DEMOLITION WASTER GENERATED AT THE SITE WILL BE DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CITY OF BURLINGAME ORDINANCE # 1704 AND 2013 CGC § 4.408 3. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. 2013 CGC § 4.410.1 4. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DIVISION THAT WILL SHOW SUBSTANTIAL CONFORMANCE WITH THE 2013 CODE REQUIREMENT. 2013 CGC § 4.410.2</p>		<p>CONSTRUCTION HOURS</p> <p>1. NO PERSON SHALL ERECT (INCLUDING EXCAVATION AND GRADING), DEMOLISH, ALTER OR REPAIR ANY BUILDING OR STRUCTURE OTHER THAN BETWEEN THE HOURS OF EIGHT A.M. AND FIVE P.M. ON WEEKDAYS, TEN A.M. AND FIVE P.M. ON SATURDAYS, AND NO WORK ON SUNDAYS AND HOLIDAYS.</p>		<p>EXTERIOR FINISHES</p> <p>WALL FINISH: (N) CEDAR SHINGLE SIDING ROOF: (N) CLASS A CEDAR SHINGLE WINDOWS: (N) VINYL CLAD WINDOWS FROM SIERRA PACIFIC WINDOWS TYP. WITH S.D.L</p>		<p>DEFERRED SUBMITALS</p> <p>N/A</p>			

Revisions

Rev. #	Description	Date
001		
002		
004		
005		
006		

Contractor: Allen Ash
Ash Brothers Construction Inc.
303 Twin Dolphin Drive, Suite 600
Redwood City, CA 94065
Phone: (415) 971-0679
License: 827999

Owner: James Christie
133 Monterey Street
Brisbane, CA 94005

zoning: R1

APN#: 007-291-050

form + one
DESIGN ■ PLANNING

Title: TITLE
Project: Christie Residence
133 Monterey Street
Brisbane, CA 94005

Job No.: 19_21
Drawn: TIM RADUENZ
Date: 05-16-19

Sheet
Scale: See Details
G.1.15

GENERAL NOTES & SCOPE

1. PROTECT ALL EXISTING TREES DURING CONSTRUCTION, CONSULT ARBORIST AS REQUIRED.
2. NO EXISTING TREES OVER 48" IN CIRCUMFERENCE AT 54" FROM BASE OF TREE MAY BE REMOVED WITHOUT A PROTECTED TREE PERMIT FROM THE PARKS DIVISION (558-7330) NO TREES ARE TO BE REMOVED FOR THIS PROJECT.
3. WATER CONSERVATION IN LANDSCAPE ORDINANCE NOT REQUIRED SINCE LANDSCAPE WILL NOT BE REHABILITATED AS NOTED ON PLANS.
4. A PLAN HAS BEEN DEVELOPED, AND WILL BE IMPLEMENTED, TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. CGC 4.106.2 & CGC 4.106.3
5. ALL SPRINKLER DRAINAGE SHALL BE PLACED INTO LANDSCAPING AREAS

STREET TREES

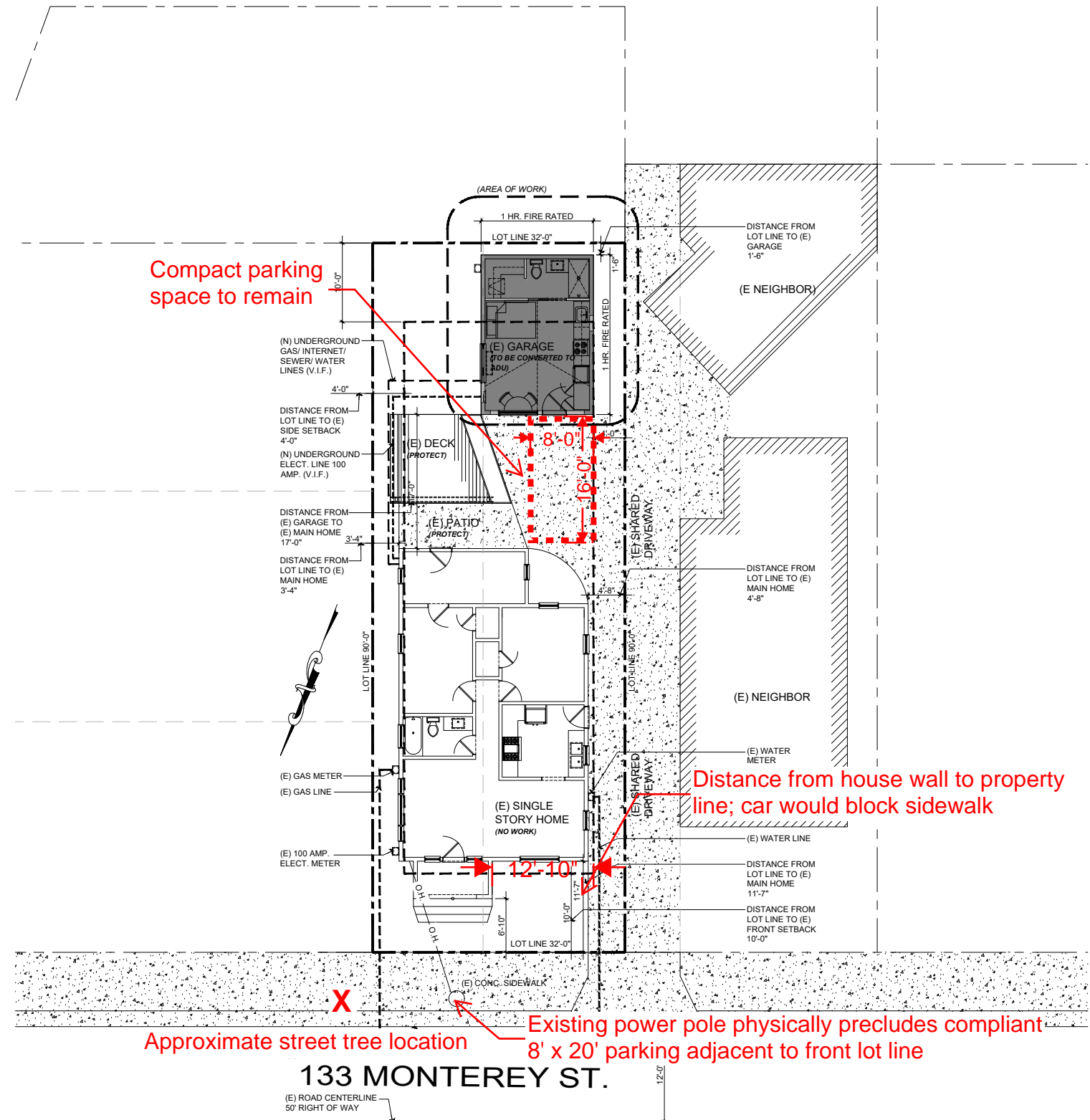
1. PROTECT ALL STREET TREES DURING CONSTRUCTION

PUBLIC WORKS NOTES

1. A REMOVE/REPLACE UTILITIES ENCHROACHMENT PERMIT IS REQUIRED TO (1) REPLACE ALL CURB, GUTTER, DRIVEWAY AND SIDEWALK FRONTING SITE, (2) PLUG ALL EXISTING SANITARY SEWER LATERAL CONNECTIONS AND INSTALL A NEW 4" LATERAL, (3) ALL WATER LINE CONNECTIONS TO CITY WATER MAINS FOR SERVICES OF FIRE LINE ARE TO BE INSTALLED PER CITY STANDARD PROCEDURES AND SPECIFICATION, (4) AND OTHER UNDERGROUND UTILITY WORKS WITHIN CITY'S RIGHT-OF WAY.
2. GRADING PERMIT, IF REQUIRED WILL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.

STORMWATER CHECKLIST NOTES

1. DIRECT ROOF RUNOFF INTO CISTERNS OR RAIN BARRELS AND USE RAINWATER FOR IRRIGATION OR OTHER NON-POTABLE USE.
2. DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS.
3. DIRECT RUNOFF FROM DRIVEWAYS AND/OR UNCOVERED PARKING LOTS ONTO VEGETATED AREAS.
4. CONSTRUCT SIDEWALKS, WALKWAYS AND/OR PATIOS WITH PERMEABLE SURFACES.
5. USE MICOR-DETENTION, INCLUDING DISTRIBUTED LANDSCAPE-BASED DETENTION.
6. PROTECT SENSITIVE AREAS, INCLUDING WETLAND AND RIPARIAN AREAS, AND MINIMIZE CHANGES TO THE NATURAL TOPOGRAPHY.
7. MARK ON SITE INLETS WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.
8. (A.) RETAIN EXISTING VEGETATION AS PRACTICABLE (B) SELECT DIVERSE SPECIES APPROPRIATE TO THE SITE. INCLUDE PLANTS THAT ARE PEST- AND/OR DISEASE-RESISTANT, DROUGHT-TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS. (C) MINIMIZE USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS.
9. DESIGN FOR DISCHARGE OF FIRE SPRINKLERS TEST WATER TO LANDSCAPE OR SANITARY SEWER.
10. TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
11. DELINEATE WITH FIELD MARKERS THE FOLLOWING AREAS: CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES TO BE PROTECTED AND RETAINED, DRAINAGE COURSES.
12. PROVIDE NOTES, SPECIFICATIONS OR ATTACHEMENTS DESCRIBING THE FOLLOWING: (A) CONSTRUCTION, OPERATION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROLS, INCLUDE INSPECTION FREQUENCY; (B) METHODS AND SCHEDULE FOR GRADING, EXCAVATION, FILLING, CLEARING OF VEGETATION, AND STORAGE AND DISPOSAL OF EXCAVATED OR CLEARED MATERIAL, (C) SPECIFICATIONS FOR VEGETATIVE COVER & MULCH, INCLUDE METHODS AND SCHEDULES FOR PLANTING AND FERTILIZATION (D) PROVISIONS FOR TEMPORARY AND OR PERMANENT IRRIGATION
13. PERFORM CLEARING AND EARTH MOVING ACTIVITIES ONLY DURING DRY WEATHER
14. USE SEDIMENT CONTROLS OF FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING AND OBTAIN ALL NECESSARY PERMITS.
15. PROTECT ALL STORM DRAIN INLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS (E.G. BERMS, SOCKS, FIBER ROLLS OR FILTERS)
16. TRAP SEDIMENT ON-SITE, USING BMP'S SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, COMPOST BLANKETS OR JUTE MATS, COVERS FOR SOIL STOCK PILES, ETC.
17. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G. SWALES AND DIKES)
18. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
19. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
20. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
21. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS/WASTES PROPERLY TO PREVENT CONTACT WITH STORMWATER.
22. CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES/SUBCONTRACTORS RE: CONSTRUCTION BMP'S.
23. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, RINSE WATER FROM ARCHITECTURAL COPPER, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.



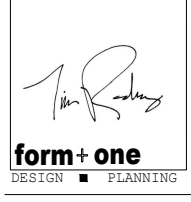
Rev. #	Description	Date
001		
002		
003		
004		
005		
006		

Contractor: Ash Brothers Construction Inc.
303 Twin Dolphin Drive, Suite 600
Brisbane, CA 94005
Phone: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

Owner: Lisa Christakis
1336 Monterey Street
Brisbane, CA 94005

4843 SILVER SPRINGS DRIVE
Park City, UT 84098
Ph: 415.819.0304
E-mail: TIM@FORMONEDSIGN.COM

APN#: 007-291-050



Title: Existing + Proposed Site Plan

Project: Christie Residence
133 Monterey Street
Brisbane, CA 94005

Job No.: 19_21
Drawn: TIM RABENOLD
Date: 05-16-19

A1.0

Sheet
Scale: See Details

RELATED CODE REQUIREMENTS: (EGRESS)

1. EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQUARE FEET.
2. THE MINIMUM NET CLEAR WIDTH DIMENSION SHALL BE 20"
3. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24"
4. MIN. 44" FROM FINISH FLOOR
5. PER CODE 2016 CRC SECTION R310

2016 CODE REQUIREMENTS: (PLUMBING)

1. REQUIRES NON-COMPLIANT PLUMBING FIXTURES TO BE REPLACED BY WATER-CONSERVING PLUMBING FIXTURES WHEN A PROPERTY IS UNDERGOING ALTERATIONS OR IMPROVEMENTS. THIS LAW APPLIES TO ALL RESIDENTIAL AND COMMERCIAL PROPERTY BUILT PRIOR TO JANUARY 1, 1994. DETAILS CAN BE FOUND AT [HTTP://LEGINFO.CA.GOV/PUB/09-10/BILL/SEN/SB0401-0450/SB407 BILL 20091011 CHAPTERED HTML](http://leginfo.ca.gov/pub/09-10/bill/sen/sb_0401-0450/sb_407_bill_20091011_chaptered.html)
2. PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 AND CAL GREEN SECTION 301.1 FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT DO NOT MEET COMPLIANT FLOW RATES WILL NEED TO BE UPGRADED. WATER CLOSETS WITH A FLOW RATE EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH W.C. W/ A MAX. FLOW RATE OF 1.28 GPF. SHOWER HEADS W/ A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED W/ A MAX. 2.0 GPM SHOWER HEAD. LAVATORY & KITCHEN FAUCETS W/ A FLOW RATE GREATER THAN 2.2 GPM WILL NEED TO BE REPLACED W/ A FAUCET W/ MAX. FLOW RATE OF 1.5 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS)

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

- PLUMBING:**
- SHOWER MUST BE PROVIDED W/ TEMPERATURE CONTROL (ANTI-SCALD) TYPE VALVE. TOILETS MUST HAVE A MIN. CLEAR SPACE OF 30" WIDE, & 24" CLEAR SPACE IN FRONT. IF NEW, TOILETS MUST BE WATER CONSERVING 1.28 GALLON. SHOWER DOORS SHALL OPEN OUTWARD AND SHALL BE A MIN. 22" WIDE. THE SHOWERHEAD CANNOT DISCHARGE DIRECTLY AT ENTRANCE. ALL SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, MUST BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. JOB-FORMED SHOWER PAN LINER MUST SLOPE 1/4" PER FOOT TO WEAP HOLES IN DRAIN, AND BE INSPECTED UNDER TEST PRIOR TO COVERING.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

- BUILDING:**
- SHOWER WALL SHALL BE FINISHED TO A HEIGHT 72" ABOVE THE DRAIN INLET WITH MATERIAL THAT IS NOT AFFECTED BY MOISTURE. GREEN BD. CANNOT BE USED AS A BACKER FOR MASTIC TILE WHERE IT WILL BE EXPOSED TO SPLASHING WATER AND IS NOT ALLOWED ON CEILINGS. CEMENT BOARD WITH A MOISTURE BARRIER AND CORROSION-RESISTANT FASTENERS IS AN APPROPRIATE BACKING MATERIAL IN WET LOCATIONS. MIN. CEILING HEIGHT FOR ALL BATHROOMS IS 7'-0". SAFETY GLAZING IS REQUIRED FOR WINDOWS IN TUB OR SHOWER LOCATIONS WHERE THE BOTTOM EDGE OF GLASS IS LESS THAN 5'-0" ABOVE THE DRAIN. AS PART OF REMODEL SMOKE DETECTORS WILL BE REQUIRED IN ALL BEDROOMS, ADJOINING HALL, AND AT EACH LEVEL PER THE BUILDING CODE.

RELATED CODE REQUIREMENTS: (BATHS) (CONT.):

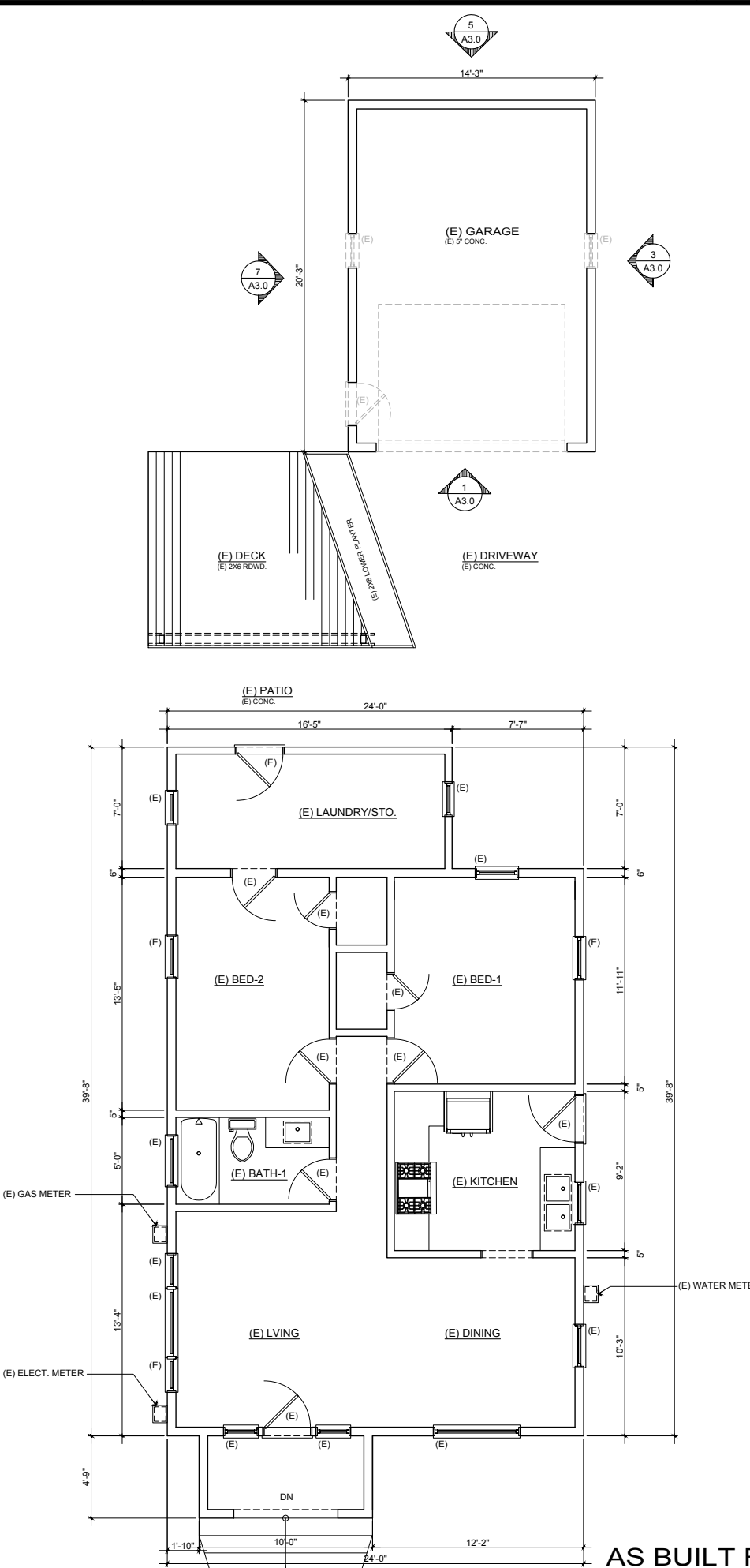
- ELECTRICAL:**
- IT IS REQUIRED TO HAVE AT LEAST ONE RECEPTACLE WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. THIS RECEPTACLE AND ANY OTHERS LOCATED WITHIN THE BATHROOM MUST BE GFCI PROTECTED.
 - A SEPARATE 20-AMP CIRCUIT IS REQUIRED TO SUPPLY BATHROOM OUTLETS ONLY, OR A SINGLE BATHROOM.
 - LIGHTING WILL BE REQUIRED TO BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON OCCUPANT SENSOR SWITCH. (TYPICALLY HIGH EFFICACY LIGHT FIXTURES ARE PIN BASE FLUORESCENT WITH ELECTRONIC BALLAST.
- MECHANICAL:**
- A FAN CONNECTED TO THE OUTSIDE CAN BE PROVIDED. FAN EXHAUST SHOULD BE 3 FEET FROM BUILDING OPENINGS AND PROPERTY LINES. BE INSPECTED UNDER TEST PRIOR TO COVERING.

GENERAL NOTES:

1. PROVIDE 30" MIN. CLEAR WIDTH, 15" ON BOTH SIDES FROM CENTERLINE OF W.C. AND 24" CLEARANCE IN FRONT OF THE W.C. PER CPC 402.5
2. PROVIDE MIN. SHOWER AREA - 1024 SQ. INCHES, CAPABLE OF ENCOMPASSING A 30" CIRCLE. SEE PLANS PER CPC 408.6
3. TEMPERED GLAZING, TYP. AT ALL DOORS AND REQUIRED BY CODE
4. PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE WASHER & DISHWASHER, ETC., PER CPC
5. WATER CLOSET'S SHALL BE AN ULTRA LOW FLUSH TYPE W/ 1.28 GALLONS MAX. PER FLUSH, PER CPC & CGC 4.303.1.1
6. EXHAUST VENT FOR DRYER SHALL TERMINATE TO THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A DRAFT DAMPER AND SHALL BE RIGID METAL DUCT WITH SMOOTH INTERIOR SURFACES PER CMC SECT. 504.
7. VERIFY ALL FINISH FLOOR CALL-OUTS W/ OWNERS, TYP.
8. SUB-PANEL ELECT., VERIFY LOCATION W/ OWNER.
9. ALL SHOWER HEADS TO HAVE 2.0 GPM FLOW MAX. PER CPC SECT. 408.2 & (CGC 4.303.6.1)
10. ALL SHOWER WALLS TO BE WATERPROOF TO 72" ABOVE DRAIN INLET, WALL FINISHES TO BE OF SMOOTH HARD NONABSORBENT SURFACE, PER CRC R307.2 (CEMENT BASED)
11. (N) HIGH EFFICIENCY GAS WATER HEATER LOCATED IN BASEMENT, INCLUDE PAN AND DRAIN
12. ALL LAVATORY FAUCETS TO HAVE 1.5 GPM, AND KITCHEN FAUCETS TO HAVE 1.8 GPM FLOW MAX. PER CPC SECT. 403.7 & 403.6 (CGC 4.303.1.3)
13. WATER HAMMER ARRESTORS AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES (I.E.) DISHWASHERS HOT WATER LINE AND THE HOT/COLD LINES OF THE CLOTHES WASHER) 2013 CPC 609.10.
14. CONTROL VALVE FOR SHOWER OR TUB/SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE, PER CPC 420.0.
15. THRESHOLD FOR IN-SWINGING DOORS SHALL BE 7.75" MAX. AND 7" MAX. FOR OUTSWINGING DOORS.
16. (N) GAS METER LOCATION, PG&E, TYPICAL 36" FROM OPERABLE WINDOWS.
17. (E) ELECTRICAL METER LOCATION
18. MAX. DROP FROM TOP OF THRESHOLD TO THE EXT. LANDING AT ALL SLIDING AND IN-SWINGING DOORS SHALL BE LIMITED TO 7.75", AND NOT MORE THAN 1.5" LOWER THAN THRESHOLD FOR OUTSWINGING DRS. PER 2013 CRC R311.3
19. (N) STAIRS TO HAVE MAX. RISER HEIGHT OF 7.75" AND A MIN. TREAD DEPTH OF 10" PER CRC R311.7.4
20. A CAPILLARY BREAK WILL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED UNLESS AN ENGINEERED DESIGN HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING DIVISION. 2013 CGC §4.505.2 AND CALIFORNIA RESIDENTIAL CODE (CRC) §506.2.3
21. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE WILL NOT BE INSTALLED. WALL AND FLOOR FRAMING WILL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT WILL BE VERIFIED PRIOR TO FINISH MATERIAL BEING APPLIED. 2013 CGC §4.505.3
22. FITTINGS (FAUCETS AND SHOWER HEADS) HAVE ALL REQUIRED STANDARDS LISTED ON PLANS AND ARE IN ACCORDANCE TO CGC 4.303.1.3 AND CGC 403.1.4
23. ANY GAS FIREPLACE SHALL BE DIRECT-VENT SEALED-COMBUSTIBLE TYPE.
24. PROVIDE 36 INCH MIN. DEEP LANDING OUTSIDE ALL EXTERIOR DOORS (NOT MORE THAN 7.75 INCHES LOWER THAN THE THRESHOLD FOR IN-SWINGING DOORS AND SLIDING DOORS, AND NOT MORE THAN 1.5 INCHES LOWER THAN THE THRESHOLD FOR OUT-SWINGING DOORS) 2013 CRC R311.3
25. WALLS WITH 2 X 6 AND LARGER FRAMING REQUIRE R-19 INSULATION 150.0(C)2

INSULATION: (See Title-24 For Min.)

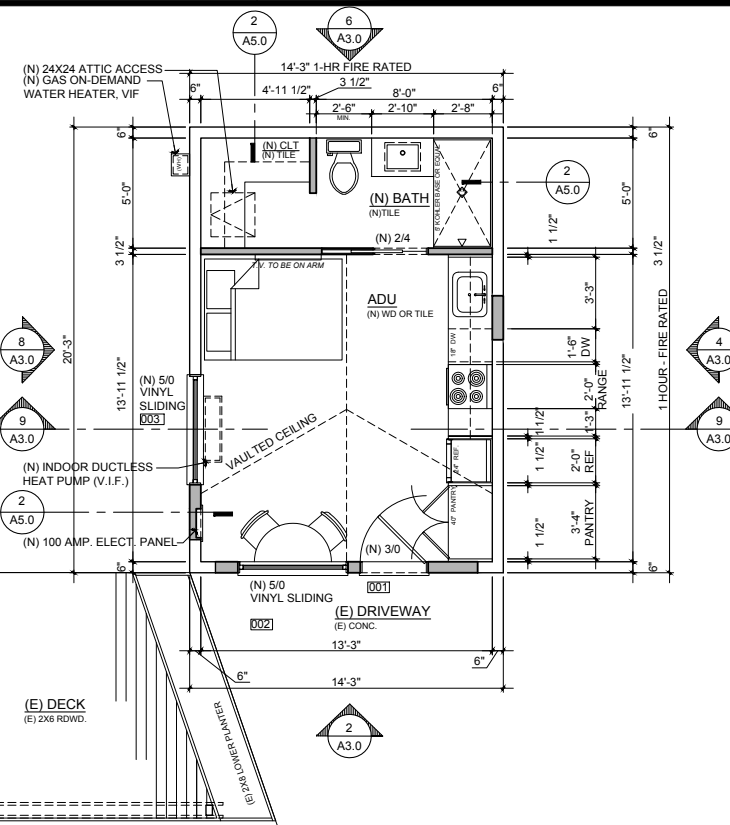
1. ALL EXTERIOR 2X6 WALLS: R-21 BATT INSULATION
2. ALL EXTERIOR 2X4 WALLS: R-15 BATT INSULATION
3. ALL CEILINGS TO RECEIVE R-32 MIN. INSULATION, BLOWN IN PREFERRED.
4. ALL UNDER FLOOR TO RECEIVE R-19 BATT INSULATION
5. ALL BATHROOMS, LAUNDRY ROOMS, TO RECEIVE SOUND BATT, INSULATION, TYPICAL.



AS BUILT FLOOR PLAN

MAIN HOME (NO WORK)

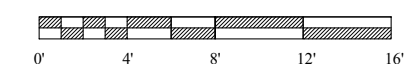
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PROPOSED ADU
CONVERTED GARAGE

Scale: 1/4" = 1'-0"

- LEGEND:**
- EXISTING WALLS
 - WALLS/ITEMS TO BE REMOVES
 - NEW WALLS



Rev.	Description	Date
001		
002		
003		
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005		
006		

Contractor:
 Tim Richards
 Abh Builders Construction Inc.
 303 Twin Dolphin Drive, Suite 600
 Brisbane, CA 94005
 License: 827999

Owner:
 Christie Reside
 133 Monterey Street
 Brisbane, CA 94005
 Zoning: RL

4643 SILVER SPRINGS DRIVE
 Park City, UT 84098
 Ph: 415.819.0304
 E-mail: TIM@FORMONEDESIGN.COM

form+ one
 DESIGN ■ PLANNING

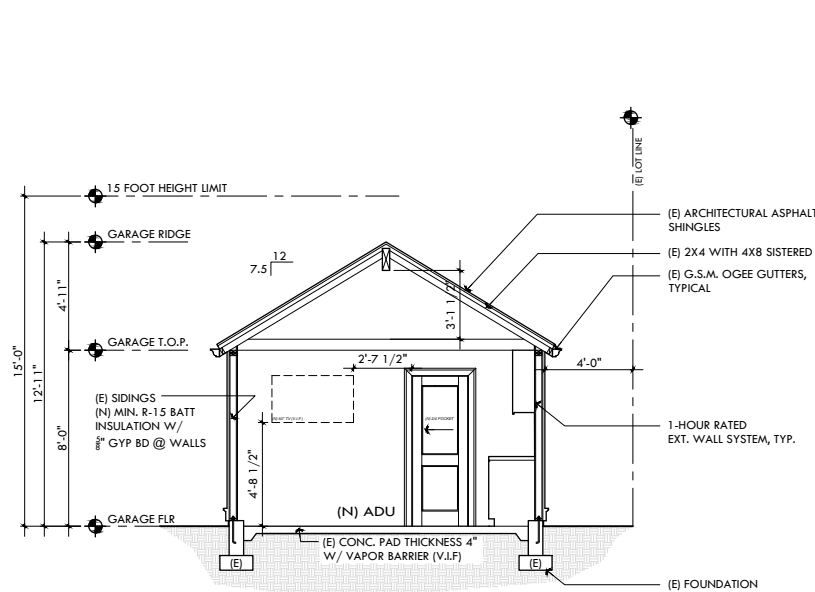
Title: Existing Main Home & Garage & Proposed ADU
 Project: Christie Residence
 133 Monterey Street
 Brisbane, CA 94005
 Job No.: 19_21
 Drawn: TIM RICHARDS
 Date: 05-16-19

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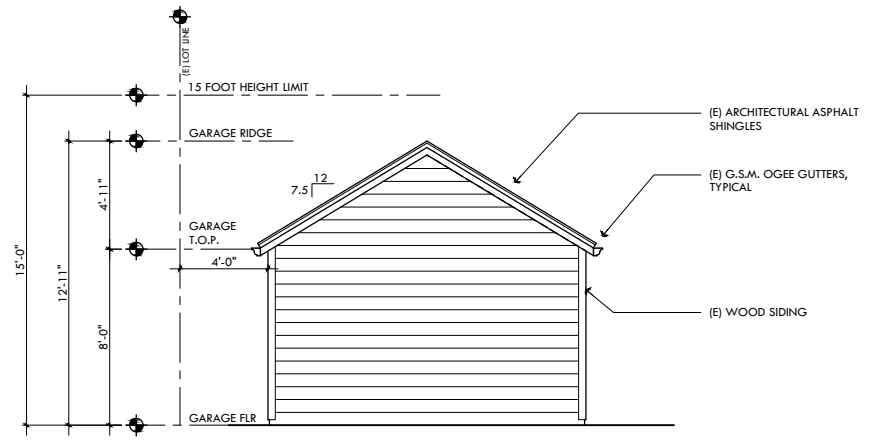
BUILDING SET

APN#: 007-291-050

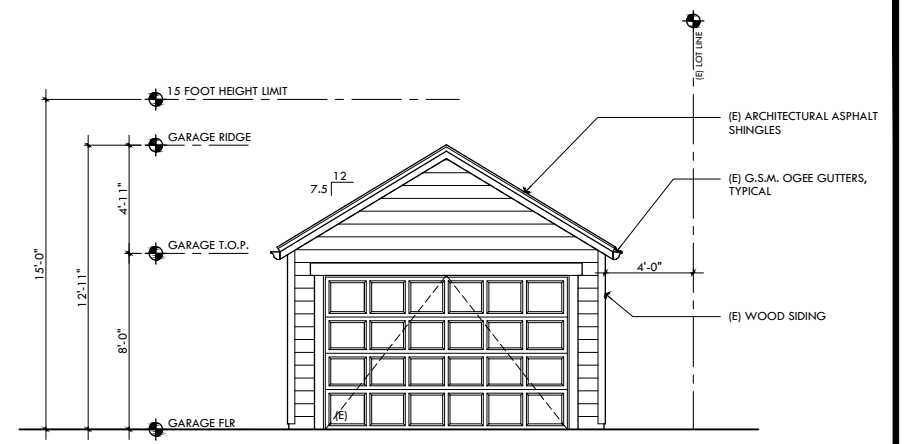
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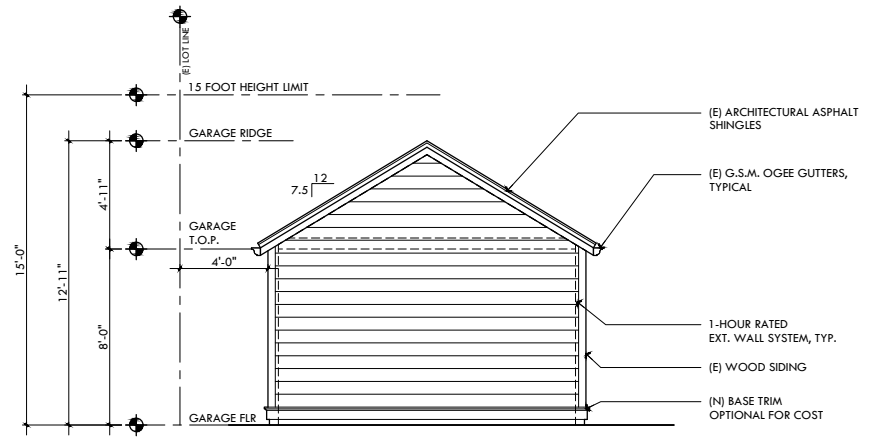
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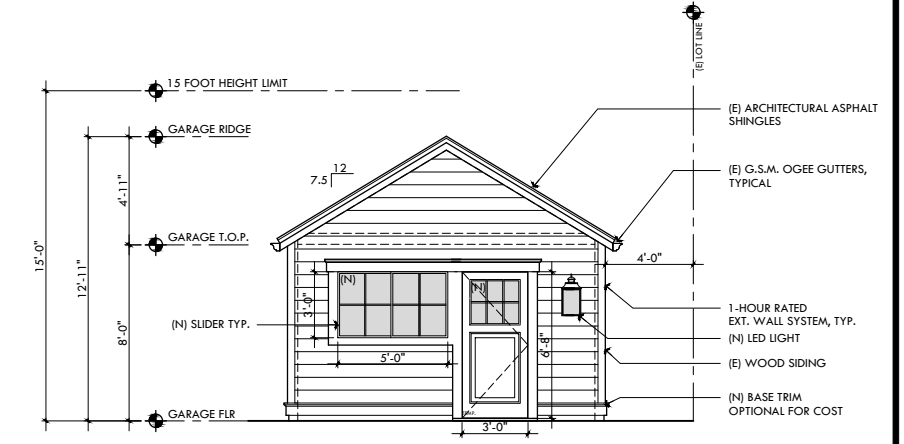
EXISTING REAR ELEVATION
Scale: 1/4 = 1'-0" (5) A3.0



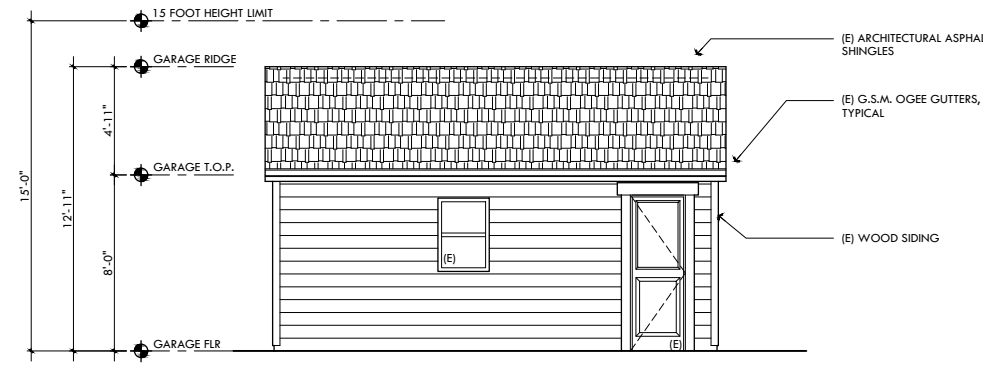
EXISTING FRONT ELEVATION
Scale: 1/4 = 1'-0" (1) A3.0



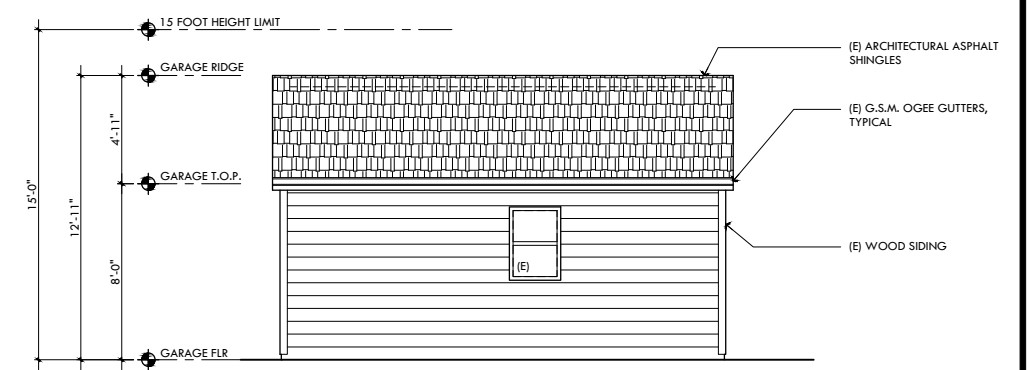
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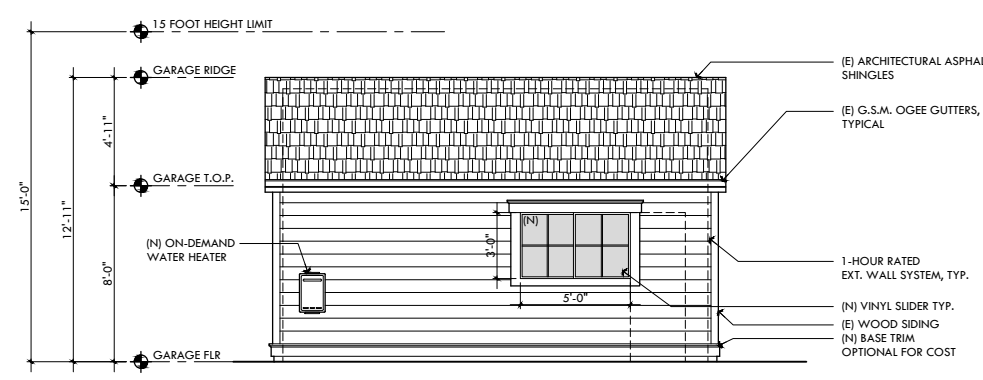
PROPOSED FRONT ELEVATION
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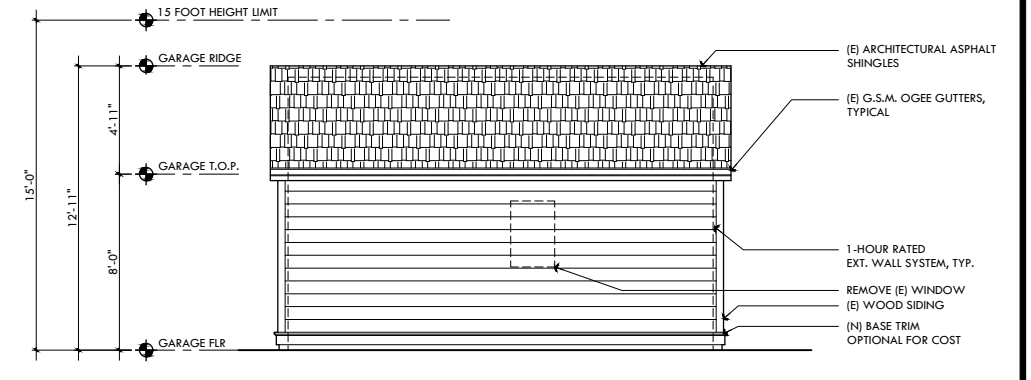
EXISTING LEFT ELEVATION
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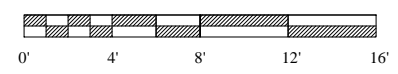
EXISTING RIGHT ELEVATION
Scale: 1/4 = 1'-0" (3) A3.0



PROPOSED LEFT ELEVATION
Scale: 1/4 = 1'-0" (8) A3.0



PROPOSED RIGHT ELEVATION
Scale: 1/4 = 1'-0" (4) A3.0



Rev.	Description	Date
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006		

Contractor:
Allen Lab
Ash Brothers Construction Inc.
303 Twin Dolphin Drive, Suite 600
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(415) 971-0579
License: 827999

Owner:
Christie
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zoning: R1

4843 SILVER SPRINGS DRIVE
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Ph: 415.619.0304
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Title: Existing & Proposed Elevations
Project: Christie Residence
133 Monterey Street
Brisbane, CA 94005
Job No.: 19_21
Drawn: TIM RABENAUZ
Date: 05-16-19

A3.0
Sheet
Scale: See Details

BUILDING SET

APN#: 007-291-050

From: Viana, Alberto
Sent: Tuesday, June 18, 2019 8:44 AM
To: Ayres, Julia
Subject: FW: UP-3-19

Follow Up Flag: Follow up
Flag Status: Flagged

From: Alwin Warfel [<mailto:awarfel@hotmail.com>]
Sent: Monday, June 17, 2019 4:37 PM
To: Planning Commissioners
Subject: UP-3-19

Email

To: Brisbane Planning Commission

planningcommissioners@brisbaneca.org

From: Alwin Warfel

awarfel@hotmail.com

Date: June 17, 2019

Re: UP-3-19

Eliminating existing off-street parking sites in order to construct an Accessory Dwelling Unit will only cause increased neighborhood street parking congestion as neither the original main dwelling nor the Accessory Dwelling Unit will have any off-street parking. How many cars will the residents from each dwelling unit have with no place to park them except on the local public streets? This is unknown, but could be several cars per unit.

I strongly urge the Commission, do not approve the construction of Accessory Dwelling Units at the expense of losing off-street parking as these losses will have negative impacts on the community.

Sincerely yours,

Alwin Warfel

JUN 2 2019

To: City of Brisbane Planning Commission

Comm. Dev. Dept. Brisbane

I support James and Mea Christie in remodeling their garage and converting it into an accessory dwelling unit.

Thank you,

Art Padilla
Signature

6/20/2019
Date

ART PADILLA
Name

Address:

110 Alvarado St.
Brisbane, CA 94005

From: Dave <davestone415@gmail.com>
Sent: Thursday, June 20, 2019 2:15 PM
To: Ayres, Julia
Subject: 133 Monterey St

I am sending this email in support of James and Mea Christie at [133 Monterey Street](#) in remodeling their garage and converting it into an accessory dwelling unit.

Thank you,
David Stone
141 Monterey St. Brisbane Ca.

Sent from my iPhone