

ATTACHMENT 6

BLANK



PHASE3
— REAL ESTATE PARTNERS —

3000-3500 MARINA BLVD, BRISBANE, CA **DESIGN PERMIT ALTERNATE PACKAGE - REV. 2**

10 SEPTEMBER 2018
REISSUED: 07 NOVEMBER 2018

ARCHITECT:
SKIDMORE, OWINGS & MERRILL LLP

CIVIL ENGINEERS:
BKF ENGINEERS

LANDSCAPE ARCHITECT:
TLS LANDSCAPE ARCHITECTURE

STRUCTURAL ENGINEER:
PARADIGM STRUCTURAL ENGINEERS, INC.

MEP/LV/FP ENGINEER:
MEYERS+ENGINEERS

GEOTECHNICAL ENGINEER:
SMITH EMERY SF

TRAFFIC ENGINEER:
FEHR & PEERS

PARKING:
INTERNATIONAL PARKING DESIGN, INC.



LEED v4 for BD+C: Core and Shell Project Checklist

Project Name: 3500 Marina Date: 1/30/2018

Table with 4 columns: Credit, Prereq, Points, and Description. Rows include categories like Location and Transportation, Sustainable Sites, Water Efficiency, Energy and Atmosphere, Materials and Resources, Indoor Environmental Quality, and Innovation.

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

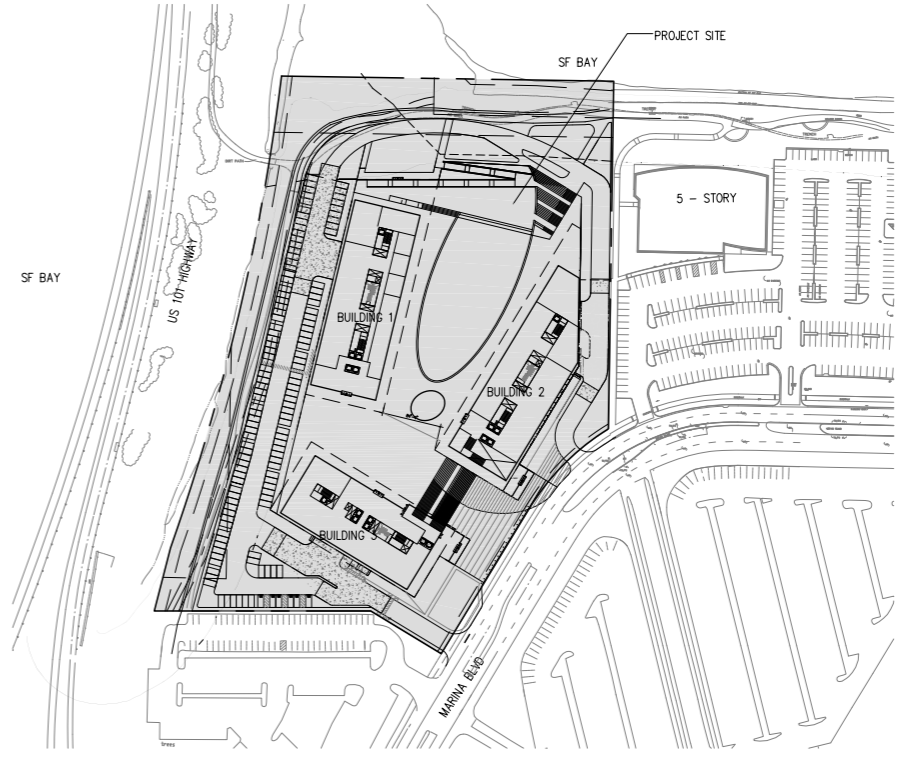
LEED REQUIREMENTS: THIS FACILITY WILL ACHIEVE LEED GOLD (UNDER CURRENT V4) STATUS AT A MINIMUM OF 60 LEED-CS POINTS AS WELL AS MEET THE CITY OF BRISBANE PROPOSED GREEN BUILDING ORDINANCE...

FLOOR AREA SUMMARY table with columns: Floor Designation, Floor to Floor Height, Floor Elevation Above Grade, Use, Parking, Mech/Storage Loading, Fitness, Building 1, Building 2, Building 3.

DEVELOPMENT REGULATIONS (PER B.M.C. CHAPTER 17.8.040) TOTAL SITE AREA: 386.23 gsf OFFICE/RAD/FITNESS GROSS FLOOR AREA: 440.53 gsf...

OFF-STREET PARKING & BICYCLE PARKING SUMMARY table with columns: REQUIRED OFF STREET PARKING SPACES, PROVIDED PARKING SPACES, LEVEL (P1), LEVEL (P2), TOTAL, PARKING RATIO, PARKING DEFICIT.

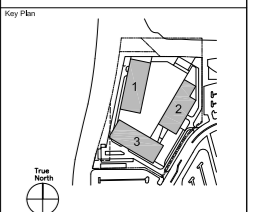
CRAWLING LIST table with columns: SHEET #, SHEET TITLE, SCALE, and various drawing categories like PROJECT INFORMATION, CIVIL, ARCHITECTURAL, and LANDSCAPE.



PHASE3 REAL ESTATE PARTNERS 3000-3500 MARINA BLVD BRISBANE, CA

SOM SKIDMORE, OWINGS & MERRILL LLP ONE FRONT STREET SAN FRANCISCO, CA 94111

Contractor: Seal & Signature: Design Permit Alternate - REV. 1 2018.07.15 Design Permit Alternate - REV. 2 2018.09.10



DRAWING INDEX, LEED SCORECARD, BUILDING SUMMARY & VICINITY PLAN

Project No: 517617 Sheet No: A0.0.1 10.09.2018

Kam Loi 10/9/2018 11:50 AM\WVA\SHEET\A0-01.dwg

Architect:

SOM

SKIDMORE, OWINGS & MERRILL, LLP
ONE FRONT STREET SAN FRANCISCO, CA 94111

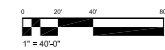
Consultants:

Seal & Signature:

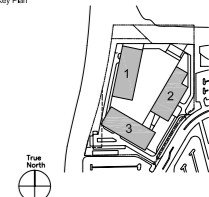
Issued For: _____ Date: _____

Doc. Description: DESIGN PERMIT ALTERNATE Date: 2018.02.15

DESIGN PERMIT ALTERNATE - REV. 1 Date: 2018.07.13



Key Plan



Sheet Name:

EXISTING SITE PHOTO

Project No.: 517617

Sheet No.:









Drawn By: TEAM

A0.02

Checked By: LEFD

Scale: 1"=40'-0"

LEGEND

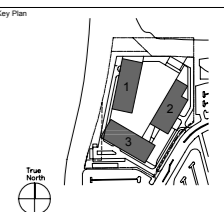
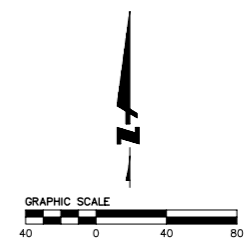
-  EXISTING CLAY CAP TO REMAIN
-  EXISTING AC PATH TO REMAIN
-  1 TO REMAIN
-  2 TO BE REMOVED
-  3 UTILITY LINE TO BE CAPPED AT MAIN
-  4 ADJUST TO GRADE
-  5 TO BE RELOCATED
-  UTILITY TO BE REMOVED

NOTES:

1. CONTRACTOR TO POthOLE AND VERIFY LOCATION AND ELEVATION OF UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ENGINEER IF FIELD INFORMATION VARIES FROM INFORMATION ON PLAN.
2. UTILITIES NOT LABELED FOR REMOVAL SHALL BE PROTECTED AT ALL TIMES.
3. UTILITIES NOT LABELED TO BE REMOVED, RELOCATED, OR ABANDONED ARE TO REMAIN OPERATIONAL.
4. MATERIALS TO BE DEMOLISHED AND REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
5. IDENTIFY ANY REQUIRED SHUT OFF OF UTILITIES PRIOR TO DEMOLITION AND CONTACT THE APPROPRIATE UTILITY PROVIDER TO ENSURE PROPER INTERRUPTION OF SERVICE. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE DEVELOPER/OWNER. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS.
6. MONITORING WELLS TO BE REMOVED SHALL BE DONE IN CONFORMANCE WITH COUNTY OF SAN MATEO ENVIRONMENTAL HEALTH DIVISION WELL DESTRUCTION PROCEDURES.
7. A TREE REMOVAL PERMIT SHALL BE OBTAINED FROM THE CITY PRIOR TO REMOVING ANY TREE(S).
8. EXISTING TOPOGRAPHY BASED ON AN AERIAL TOPO COMPLETED ON JANUARY 30, 2018 BY MICHAEL J. LUNG & ASSOCIATES ON NAVD83. UTILITY STRUCTURE ELEVATIONS AND INVERTS HAVE BEEN UPDATED TO REFLECT THE JANUARY 2018 AERIAL TOPO.

ABBREVIATIONS

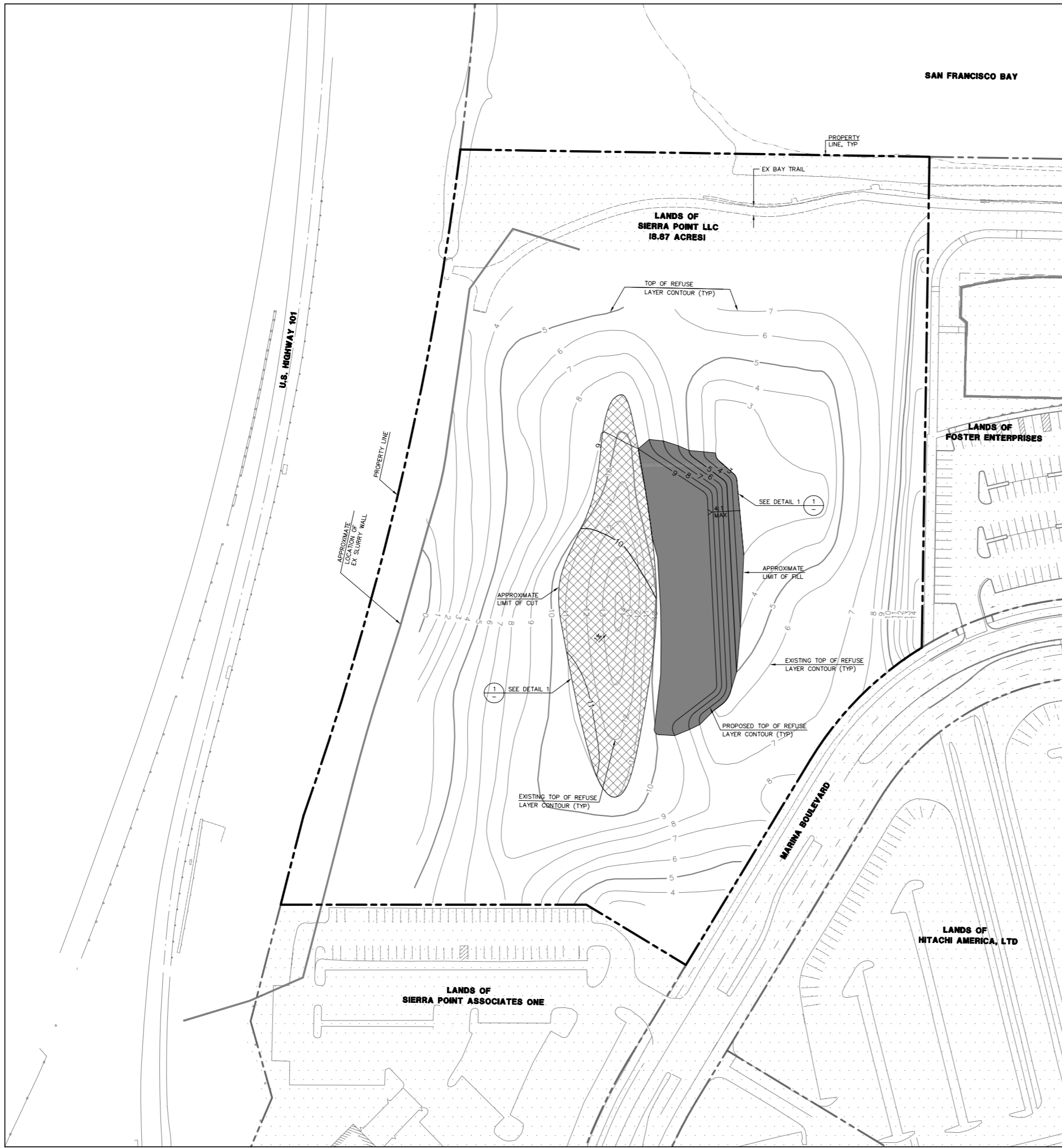
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
ABAND	ABANDONED	LE	LANDSCAPE EASEMENT
AB	AGGREGATE BASE	LP	LOW POINT
AC	ASPHALT CONCRETE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
APPROX	APPROXIMATE	MW	MONITORING WELL
ARV	AIR RELEASE VALVE	N	NORTH
BCDC	SAN FRANCISCO BAY CONSERVATION AND DEVELOPMENT COMMISSION	NO.	NUMBER
BFP	BACK FLOW PREVENTER	NTS	NOT TO SCALE
BM	BENCHMARK	OC	ON CENTER
BS	BOTTOM OF STEP	OD	OUTSIDE DIAMETER
BW	BLOW OFF VALVE	P&E	PUBLIC ACCESS EASEMENT
BOV	BEGIN VERTICAL CURVE	PB	PUBLIC BOX
BVC	CATCH BASIN	PERF	PERFORATED PIPE
CB	CURB AND GUTTER	PIV	POST INDICATOR VALVE
C&G	CENTER LINE	POC	POINT OF CONNECTION
C/L	CONCRETE	P, P/L	PROPERTY LINE
CC	CONNECTION	PR	PROPOSED
CONN	CONSTRUCT	PS	PUMP STATION
CONST	CURB RETURN	PT	POINT
CR	DUCTILE IRON	PUE	PUBLIC UTILITY EASEMENT
DI	DIAMETER	R	RADIUS
DIA	DUCTILE IRON PIPE	(R)	RECORD
DIP	DOCUMENT	RCP	REINFORCE CONCRETE PIPE
DOC	DOCUMENT	RIM	RIM ELEVATION
D/W	DRIVEWAY	R/W	RIGHT OF WAY
DW	DOMESTIC WATER	S	SOUTH
E	EAST	SD	STORM DRAIN
EA	EACH	SDCO	STORM DRAIN CLEAN OUT
ELEC	ELECTRIC	SDMH	STORM DRAIN MANHOLE
EC	END OF CURVE	SG	SUBGRADE (ROUGH GRADE)
ECR	END OF CURB RETURN	SS	SANITARY SEWER
ELEV	ELEVATION	SSCO	SANITARY SEWER CLEAN OUT
EP	EDGE OF PAVEMENT	SSMH	SANITARY SEWER MANHOLE
EVC	END VERTICAL CURVE	ST	STREET
EX	EXISTING	STA	STATION
FC	FACE OF CURB	STD	STANDARD
FF	FINISHED FLOOR	SEE	SEE STRUCTURAL PLANS
FG	FINISHED GRADE	S/W	SIDE WALK
FDC	FIRE DEPT CONNECTION	T or TEL	TELEPHONE
FH	FIRE HYDRANT	TC	TOP OF CURB
FL	FLOW LINE	TD	TOP OF DIKE
FS	FIRE SERVICE	TG	TOP OF GRATE
FW	FIRE WATER	THRU	THROUGH
FM	FORCE MAIN	TP	TOP OF PAVEMENT
G	GAS	TYP	TYPICAL
GB	GRADE BREAK	(V)	VERTIFIED
GV	GATE VALVE	VAR	VARIES
HDPPE	HIGH DENSITY POLYETHYLENE	VCP	VERTIFIED CLAY PIPE
HP	HIGH POINT	VERT	VERTICAL
HORZ	HORIZONTAL	W or WL	WATER LINE
HP	HIGH POINT	WM	WATER METER
IR	IRRIGATION	WV	WATER VALVE
JB	JUNCTION BOX		
JT	JOINT TRENCH		
LF	LINEAL FEET		
LC	LIP OF GUTTER		
LAT	LATERAL		



EXISTING CONDITIONS & DEMOLITION PLAN

DRAWING NAME: \\bkt-1-c\data\2017\170365_3000_Marina\ENG\PLANNING\Plotted Sheets\C1.0 Existing Conditions & Demo Pln.dwg
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DRAWING NAME: \\bk1-r-c\data\2017\170365_3000_Mar Inc\ENG\PLANNING\Plotted Sheets\C2.0 Refuse Grading Plan.dwg
 PLOT DATE: 07-12-18 PLOTTED BY: Tinc

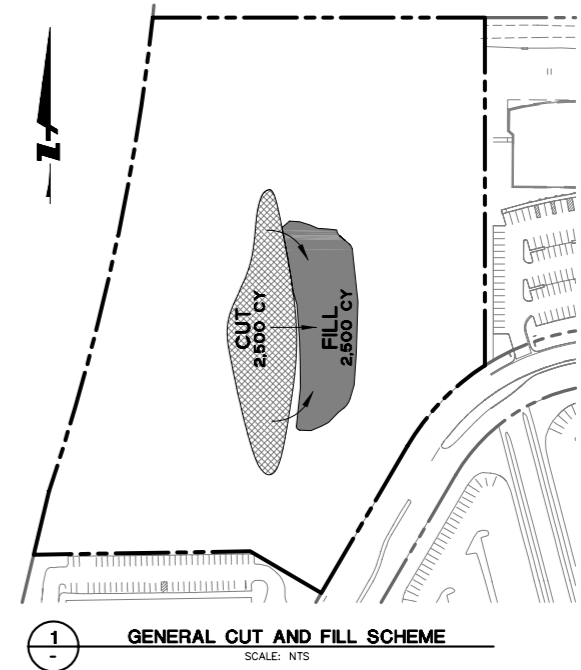


LEGEND

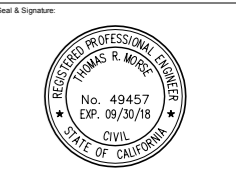
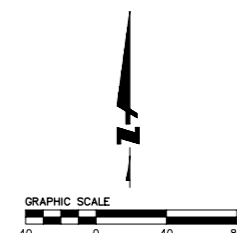
- CUT/FILL LIMITS
- PROPOSED REFUSE CONTOUR LINE
- EXISTING REFUSE CONTOUR LINE
- EXISTING CLAY CAP
- GARBAGE TO BE RELOCATED
- RELOCATED GARBAGE AS FILL

REFUSE GRADING NOTES

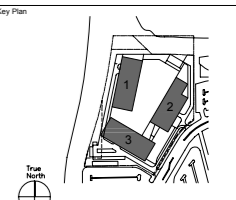
1. THE PURPOSE OF THIS WORK IS TO REGRADE THE EXISTING REFUSE ELIMINATING "PEAKS" AND "VALLEYS" IN THE REFUSE, WITH THE FINAL RESULT BEING A UNIFORM REFUSE SURFACE UPON WHICH TO CONSTRUCT THE FOUNDATION LAYER AND CLAY CAP. THE CONTRACTOR WILL BE REQUIRED TO EXCAVATE AND TEMPORARILY STOCKPILE THE EXISTING FILL IN ORDER TO EXPOSE THE REFUSE PRIOR TO GRADING. CONTRACTOR SHALL TAKE CARE NOT TO OVEREXCAVATE THE EXISTING FILL AND MIX REFUSE INTO THE STOCKPILED FILL. ANY FILL MATERIAL INADVERTENTLY MIXED WITH REFUSE SHALL THEREAFTER BE CONSIDERED REFUSE. SAID MIXED FILL SHALL BE PLACED AND GRADED TO THE CONTOURS SHOWN FOR PROPOSED REFUSE. THE TOP TWO FEET OF THE REGRADED REFUSE SHALL BE CONDITIONED AND COMPACTED TO CONSTRUCT THE FOUNDATION LAYER AS RECOMMENDED, INSPECTED AND APPROVED BY THE GEOTECHNICAL ENGINEER. SEE CLAY CAP SECTION ON SHEET C5.0 FOR ADDITIONAL CONSTRUCTION DETAILS.
2. AT THE END OF EACH WORKING DAY, THE CONTRACTOR SHALL COVER ANY EXPOSED WASTE. THE "COVER" SHALL COMPLY WITH THE REQUIREMENTS OF THE COMBINED CALIFORNIA STATE WATER QUALITY CONTROL BOARD/CALIFORNIA INTEGRATED WASTE MANAGEMENT BOARD REGULATIONS, DIVISION 2, TITLE 27, CHAPTER 3, SUBCHAPTER 4, ARTICLE 2 (DAILY AND INTERMEDIATE COVER).
3. ALL EXISTING UTILITIES, WHETHER SHOWN ON THESE PLANS OR NOT, WHICH ARE NOT SPECIFIED TO BE REMOVED OR ABANDONED, ARE TO REMAIN IN PLACE AND ARE NOT TO BE DISTURBED. CONTRACTOR SHALL PROTECT SAID UTILITIES TO REMAIN THROUGHOUT THE COURSE OF CONSTRUCTION.
4. EXISTING REFUSE LAYER CONTOURS ARE BASED ON TEST PIT POTHOLING SAMPLES TAKEN BY TREADWELL AND ROLLO ON 9/01/00.
5. SEE STEP 1 NOTE 2 OF CLAY CAPPING PROCEDURES ON SHEET C3.0.



ELEVATIONS ON THESE DRAWINGS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29).
DATUM CONVERSION TO NAVD88
 NGVD29 + 2.7 FEET = NAVD88



Issued For:	Date:
DESIGN PERMIT ALTERNATE	2018.02.15
DESIGN PERMIT ALTERNATE - REV. 1	2018.07.13



Sheet Name:
REFUSE GRADING PLAN

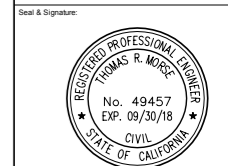
Project No:	517617	Sheet No:	C2.0
Drawn By:	ML	Checked By:	UTV
Scale:	1"=40'	Copyright:	Skidmore, Owings & Merrill, LLP, 2018



SKIDMORE, OWINGS & MERRILL LLP ONE FRONT STREET SAN FRANCISCO, CA 94111



ENGINEERS/SURVEYORS/PLANNERS 255 SHORELINE DR., SUITE 200 REDWOOD CITY, CA 94065 650-482-6300 650-482-6399 (FAX)



Issued For: No. Description: Date:

DESIGN PERMIT ALTERNATE 2018.02.15

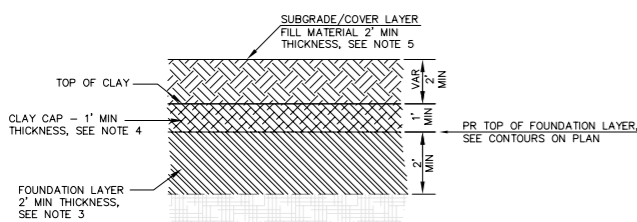
DESIGN PERMIT ALTERNATE - REV. 1 2018.07.13

HATCHING LEGEND

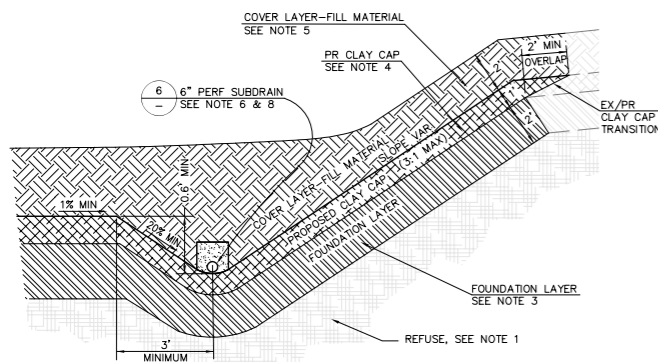
- EX SUBGRADE/COVER LAYER, PR SUBGRADE/COVER LAYER, EX CLAY CAP LAYER, PR CLAY CAP LAYER, EX FOUNDATION LAYER, PR FOUNDATION LAYER, REFUSE LAYER



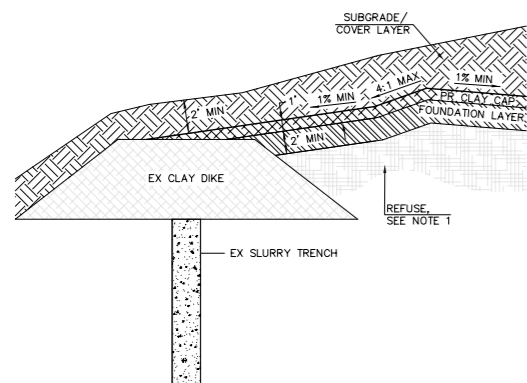
1 TYPICAL EXISTING SECTION SCALE: NTS



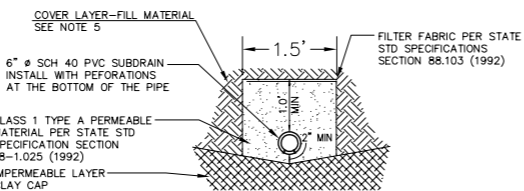
2 TYPICAL CLAY CAP SECTION SCALE: NTS



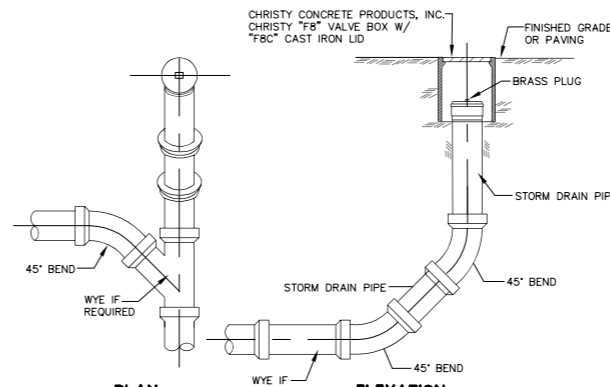
3 SUBDRAIN AND CLAY CAP CONFORM SCALE: NTS



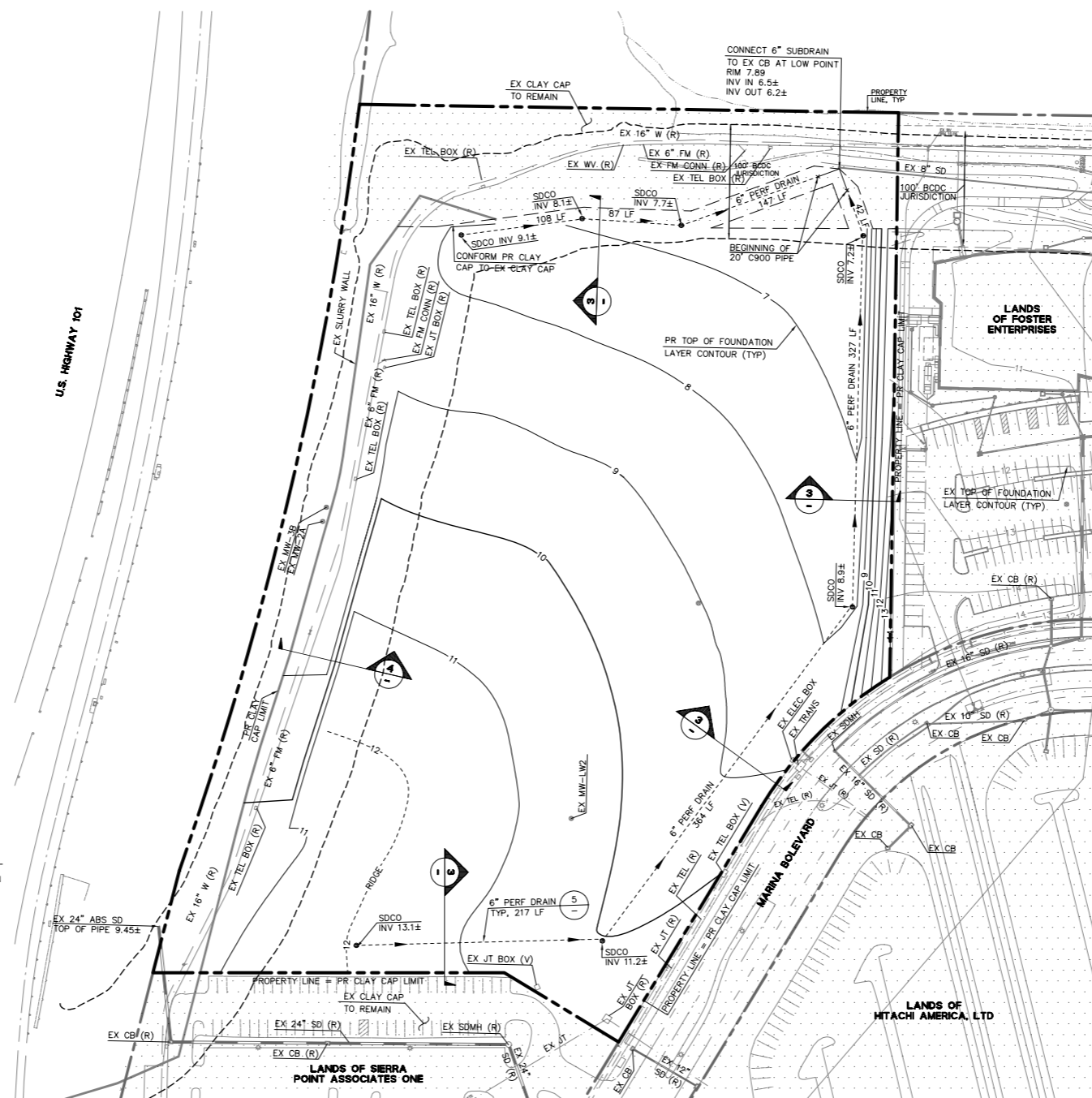
4 CLAY DIKE CONFORM SCALE: NTS



5 6 inch PERFORATED SUBDRAIN SCALE: NTS



6 SUBDRAIN CLEANOUT SCALE: NTS



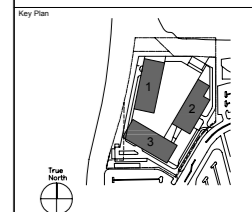
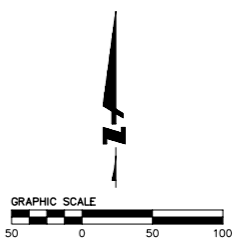
FOUNDATION LAYER LEGEND

- EX CLAY CAP TO REMAIN

NOTES:

- 1. THE GRADES AND CONTOURS SHOWN ON THIS PLAN SHEET REPRESENT TOP OF FOUNDATION LAYER/BOTTOM OF CLAY CAP LAYER... 2. STRIP CLEAN FILL MATERIAL UNTIL REFUSE IS ENCOUNTERED... 3. THE SUITABILITY OF EXISTING REFUSE AS A FOUNDATION LAYER... 4. CLAY CAP MATERIAL SHALL CONSIST OF LOW PERMEABILITY SOIL... 5. FILL MATERIAL FOR USE AS A COVER LAYER... 6. LOCATION OF THE SUBDRAIN AND CONTOURS FOR CONFORMANCE... 7. CONTRACTOR SHALL CONSTRUCT CLAY CAP TO LIMITS SHOWN... 8. INVERT OF SUBDRAIN SHALL BE PER THIS PLAN AND VERIFIED IN THE FIELD... 9. CONSTRUCT FIBER ROLL ALONG ENTIRE PERIMETER OF GRADING/DISTURBANCE LIMITS... 10. SLURRY WALL LOCATION IS APPROXIMATE... 11. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF EXISTING SEWER, WATER, AND JOINT TRENCH UTILITY LINES... 12. SEE STEPS 2 AND 3 OF CLAY CAPPING PROCEDURE ON SHEET C2.0.

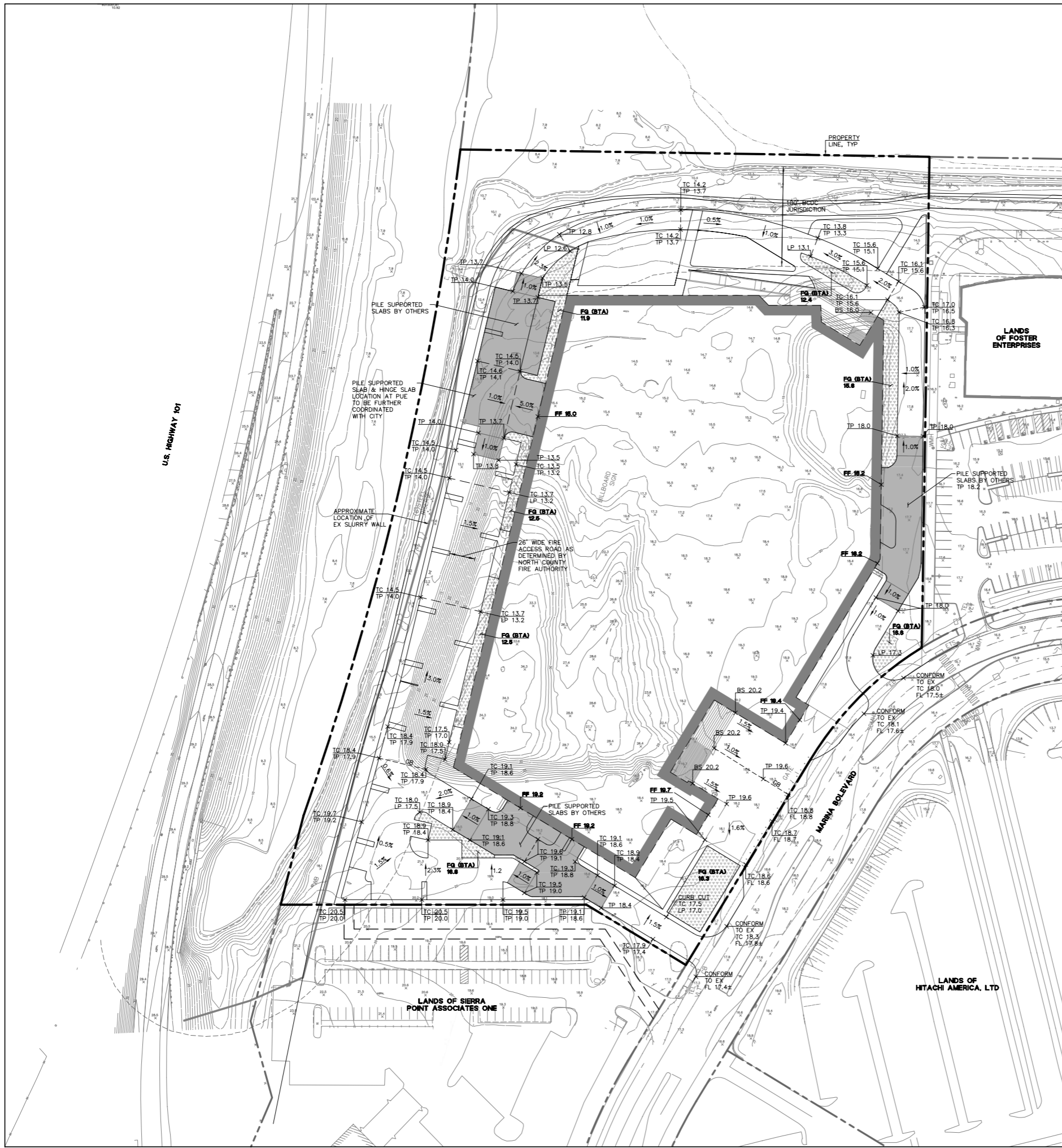
ELEVATIONS ON THESE DRAWINGS ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). DATUM CONVERSION TO NAVD88 NGVD29 + 2.7 FEET = NAVD88



CLAY CAP FOUNDATION PLAN

DRAWING NAME: \\bkt-cv\dta\2017\170365_3000_Marina\ENG\PLANNING\Plotted Sheets\C3.0 Clay Cap - Foundation Plan.dwg PLOT DATE: 07-12-18 PLOTTED BY: Tinc

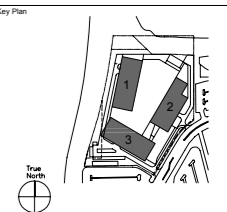
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 PLOT DATE: 09-05-18 PLOTTED BY: T1nc



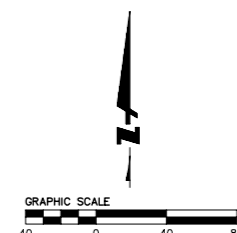
LEGEND:	PROPOSED	EXISTING
BOUNDARY LINE		
HINGE SLAB		
BIORETENTION AREA		

TASK	EARTHWORK (CY)	IMPORT (CY)	EXPORT (CY)
1. EXPORT EXCESS FILL FROM EXISTING DIRT MOUNDS			
- EXPORT EXCESS FILL	12,700	0	12,700
2. REFUSE GRADING EFFORT			
- CUT TO EXPOSE REFUSE (CUT TO STOCKPILE)	14,400	0	0
- REFUSE GRADING (REDISTRIBUTION)	2,500	0	0
- BACKFILL OVER REFUSE (STOCKPILE TO FILL)	14,400	0	0
3. CLAY CAP INSTALLATION (2-PHASE)			
INSTALL 1ST HALF OF CLAY CAP			
- CUT TO BOTTOM OF CLAY CAP ELEVATION (CUT TO STOCKPILE)	28,900	0	5,800
- PLACE 1\"/>			

DESIGN PERMIT ALTERNATE	DATE
DESIGN PERMIT ALTERNATE	2018.02.15
DESIGN PERMIT ALTERNATE - REV. 1	2018.07.13
DESIGN PERMIT ALTERNATE - REV. 2	2018.09.10



CONCEPTUAL GRADING & DRAINAGE PLAN

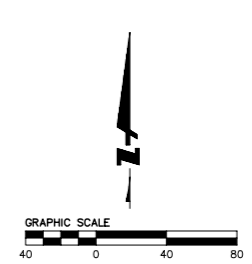
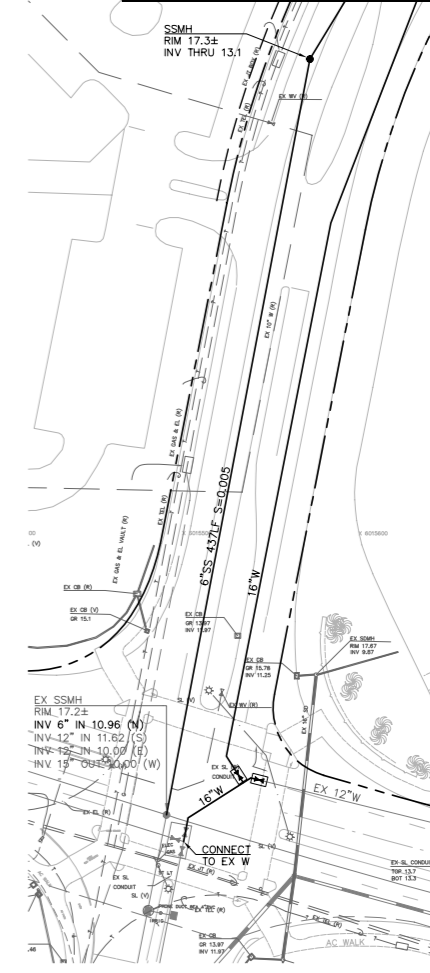


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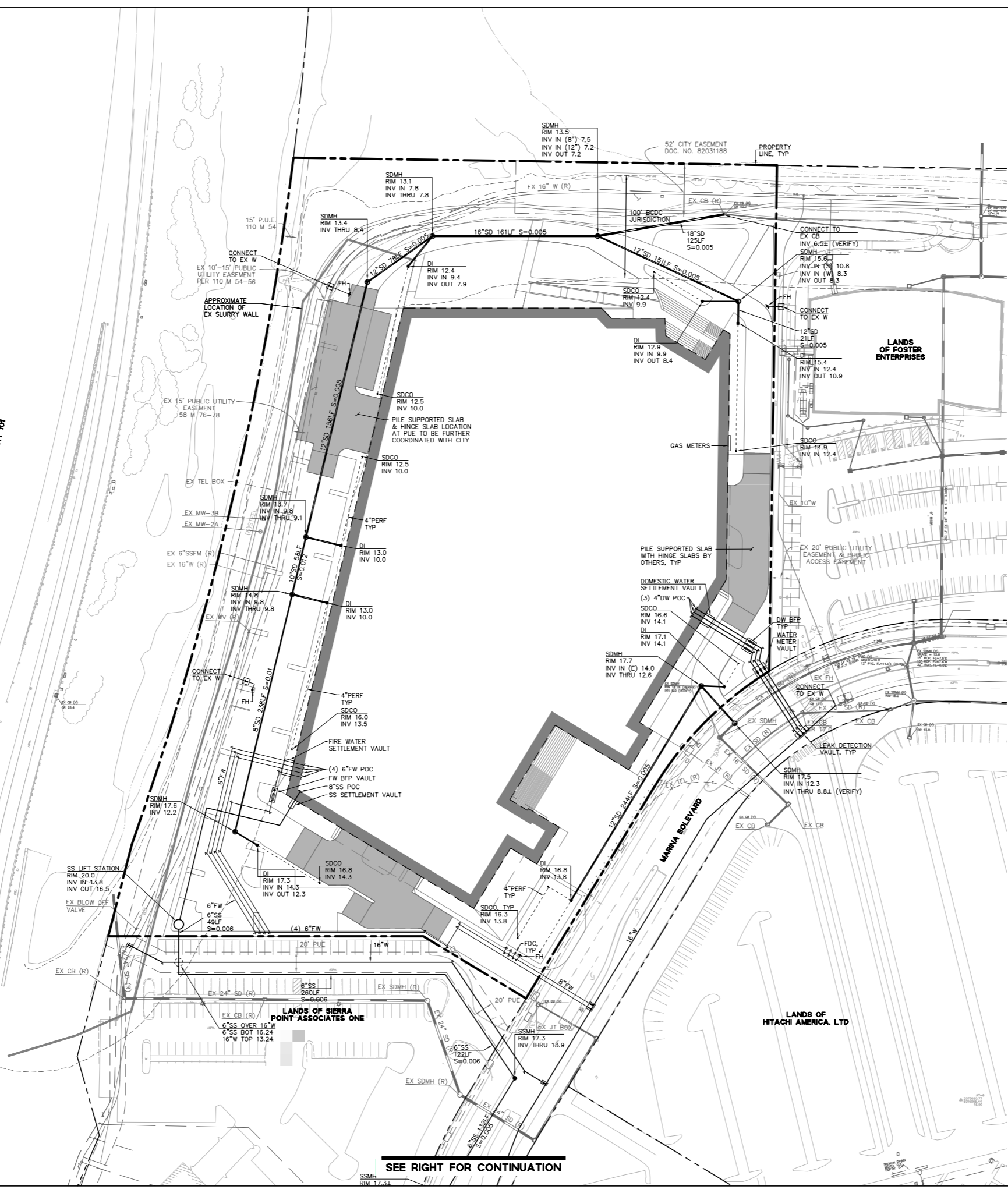
	PROPOSED	EXISTING
BOUNDARY LINE	---	---
EASEMENT	---	---
STORM DRAIN MAIN	15" SD	EX 15" SD
4" PERFORATED SUB DRAIN	---	---
SANITARY SEWER MAIN	4" SS	EX 8" SS
WATER MAIN	1" W	EX 6" W
TELEPHONE LINE	---	---
FENCE	---	---
CATCH BASIN/DROP INLET	⊠	⊠
MANHOLE	⊙	⊙
WATER METER	⊙	⊙
WATER VALVE	⊙	⊙
FDC	⊙	⊙
FIRE HYDRANT	⊙	⊙
STREET LIGHT	⊙	⊙

- NOTES:**
- UTILITIES SHOWN ON PLAN ARE PRELIMINARY. FINALIZED DESIGN AND LOCATION OF UTILITIES WILL BE SHOWN IN FUTURE CONSTRUCTION DOCUMENTS.
 - ON-SITE INLETS TO BE MARKED WITH WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT.

SEE LEFT FOR CONTINUATION



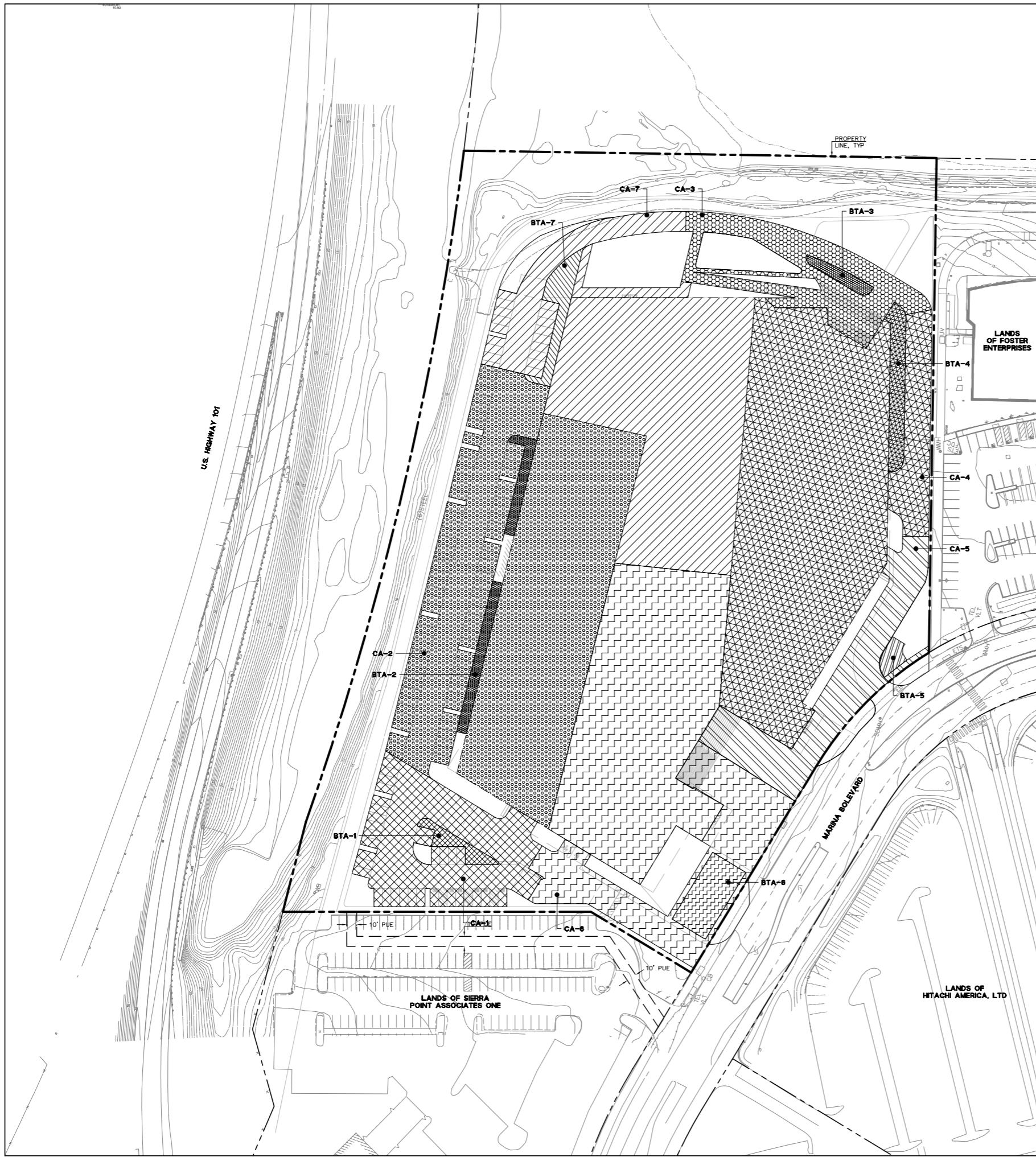
U.S. HIGHWAY 101



SEE RIGHT FOR CONTINUATION

DRAWING NAME: \\bkt-c\data\2017\170365_3000_Marina\ENG\PLANNING\Plotted Sheets\C5-0 Conceptual Utility Plan.dwg
PLOT DATE: 11-05-18 PLOTTED BY: Tinc

DRAWING NAME: \\BKF\c\data\2017\170365_3000_Marina\ENG\PLANNING\Plotted Sheets\C6.0 Stormwater Management Plan.dwg
 PLOT DATE: 09-05-18 PLOTTED BY: Tinc



PROPOSED CONDITION							
CATCHMENT AREA IDENTIFIER/COLOR	PAVEMENT (SF)	ROOF (SF)	TOTAL (SF)	TREATMENT AREA IDENTIFIER/COLOR	TOTAL (SF)	TREATMENT AREA REQUIRED (SF)	MEETS REQUIREMENT?
CA-1	17,659	-	17,659	BTA-1	1,021	706	YES
CA-2	24,954	40,108	65,062	BTA-2	2,673	2,603	YES
CA-3	15,424	-	15,424	BTA-3	816	617	YES
CA-4	6,503	54,500	61,003	BTA-4	2,536	2,440	YES
CA-5	15,497	-	15,497	BTA-5	634	620	YES
CA-6	16,119	38,075	54,194	BTA-6	3,025	2,168	YES
CA-7	10,099	39,754	49,853	BTA-7	2,136	1,994	YES

LEGEND:
 [Symbol] SELF TREATING AREAS

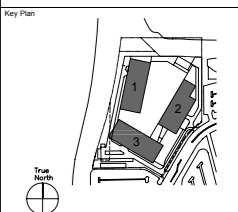
NOTES:
 1. CATCHMENT AND TREATMENT SIZES AND LOCATIONS ARE PRELIMINARY AND SUBJECT TO FINAL ENGINEERING AND PLUMBING DESIGN.



3000-3500 MARINA BLVD
 BRISBANE, CA

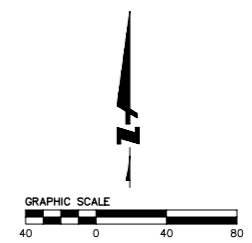


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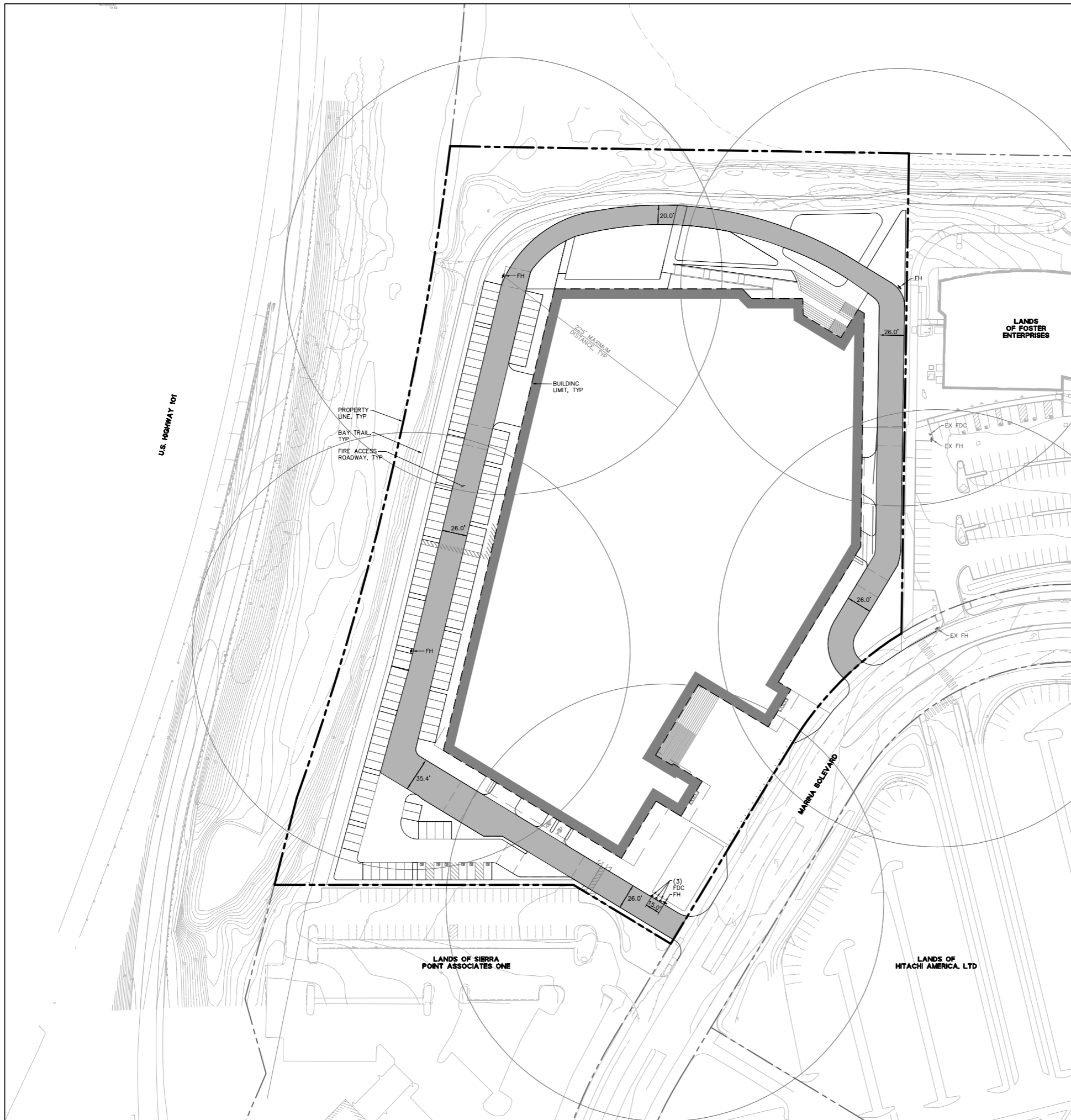


STORMWATER MANAGEMENT PLAN

Project No: 20170365	Sheet No: C6.0
Drawn By: VX	Checked By: LUX
Scale: 1"=40'	Scale: 1"=40'



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 PLOT DATE: 07-12-18 PLOTTED BY: Tinc



LEGEND:

BOUNDARY LINE		PROPOSED		EXISTING	
FDC					
FIRE HYDRANT					
		FIRE ACCESS ROADWAY			
		225' MAXIMUM DISTANCE FROM FIRE ACCESS TO HYDRANT			

- NOTES:**
1. FIRE ACCESS ROADWAYS SHALL BE RED STRIPED WITH NO PARKING FIRE LANE SIGNS.
 2. TREES SHALL NOT ENCR OACH ON FIRE ACCESS HEIGHT OF 13'-6".
 3. INSPECTORS TEST AND DRAIN SHALL EMPTY INTO THE SANITARY SEWER.
 4. MAXIMUM DISTANCE FROM FIRE ACCESS ROADWAY TO HYDRANT DETERMINED BY PROJECT FIRE FLOW REQUIREMENT OF 3,000 GPM USING CALIFORNIA FIRE CODE TABLE B105.1.

PHASE3
 REAL ESTATE PARTNERS

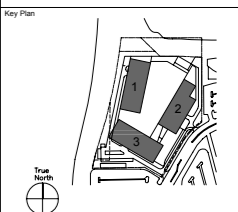
3000-3500 MARINA BLVD
 BRISBANE, CA

Architect:
SOM
 SKIDMORE, OWINGS & MERRILL, LLP
 ONE FRONT STREET SAN FRANCISCO, CA 94111

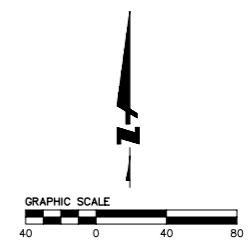
Consultants:
BKF
 ENGINEERS/SURVEYORS/PLANNERS
 255 SHORELINE DR, SUITE 200
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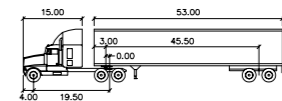
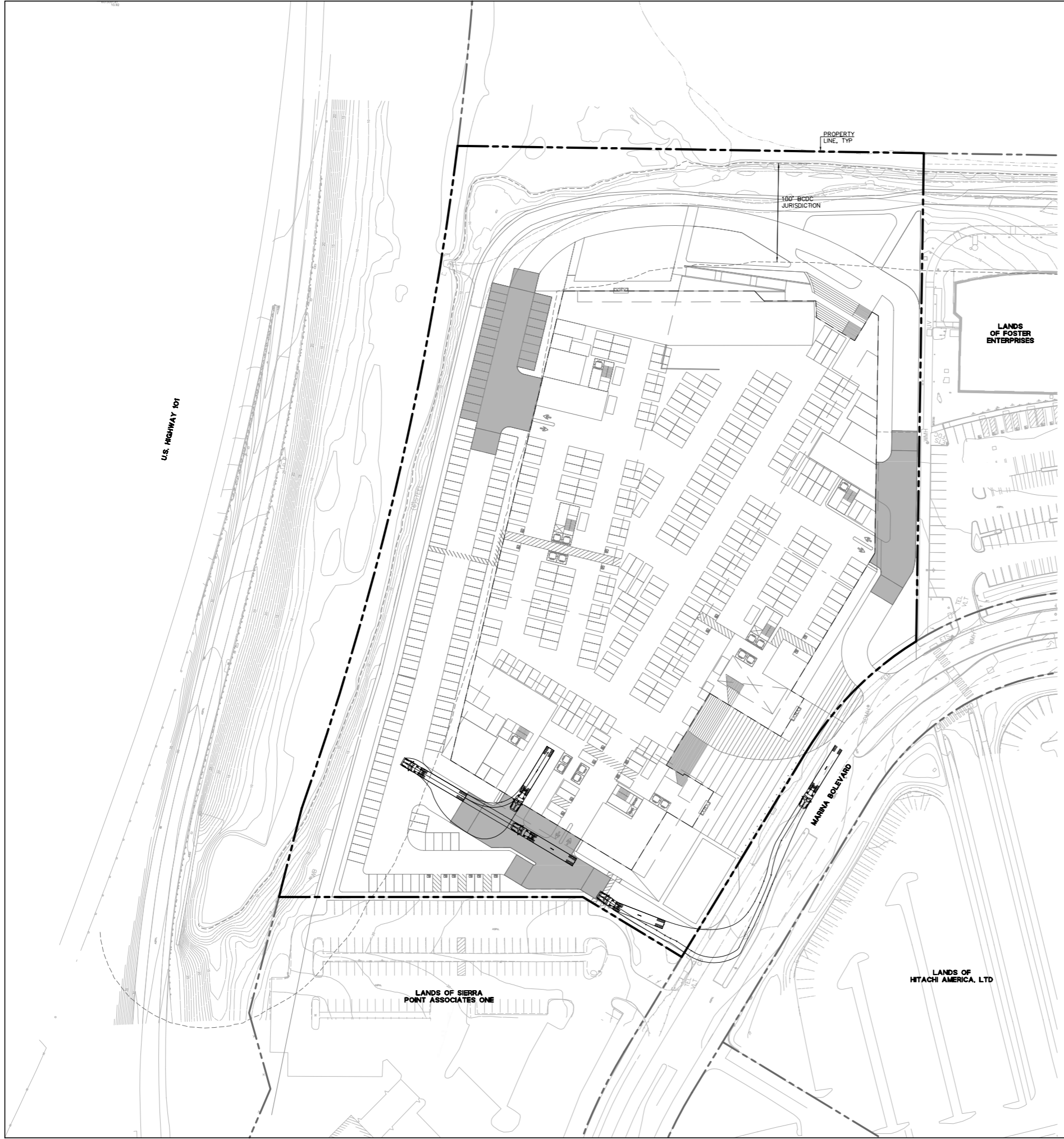


Sheet Name:
FIRE ACCESS PLAN



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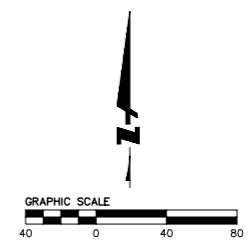
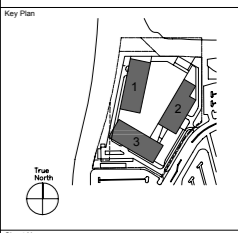
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 PLOT DATE: 07-12-18 PLOTTED BY: Tinc



WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

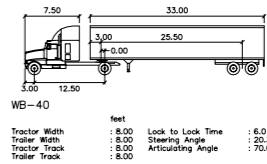
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TRUCK TURNING STUDY
WB-67 - ENTRY

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Scale:	1"=40'		

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REAL ESTATE PARTNERS

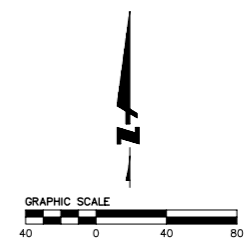
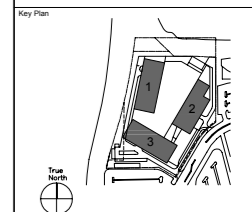
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BRISBANE, CA

Architect:
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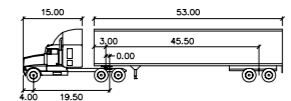
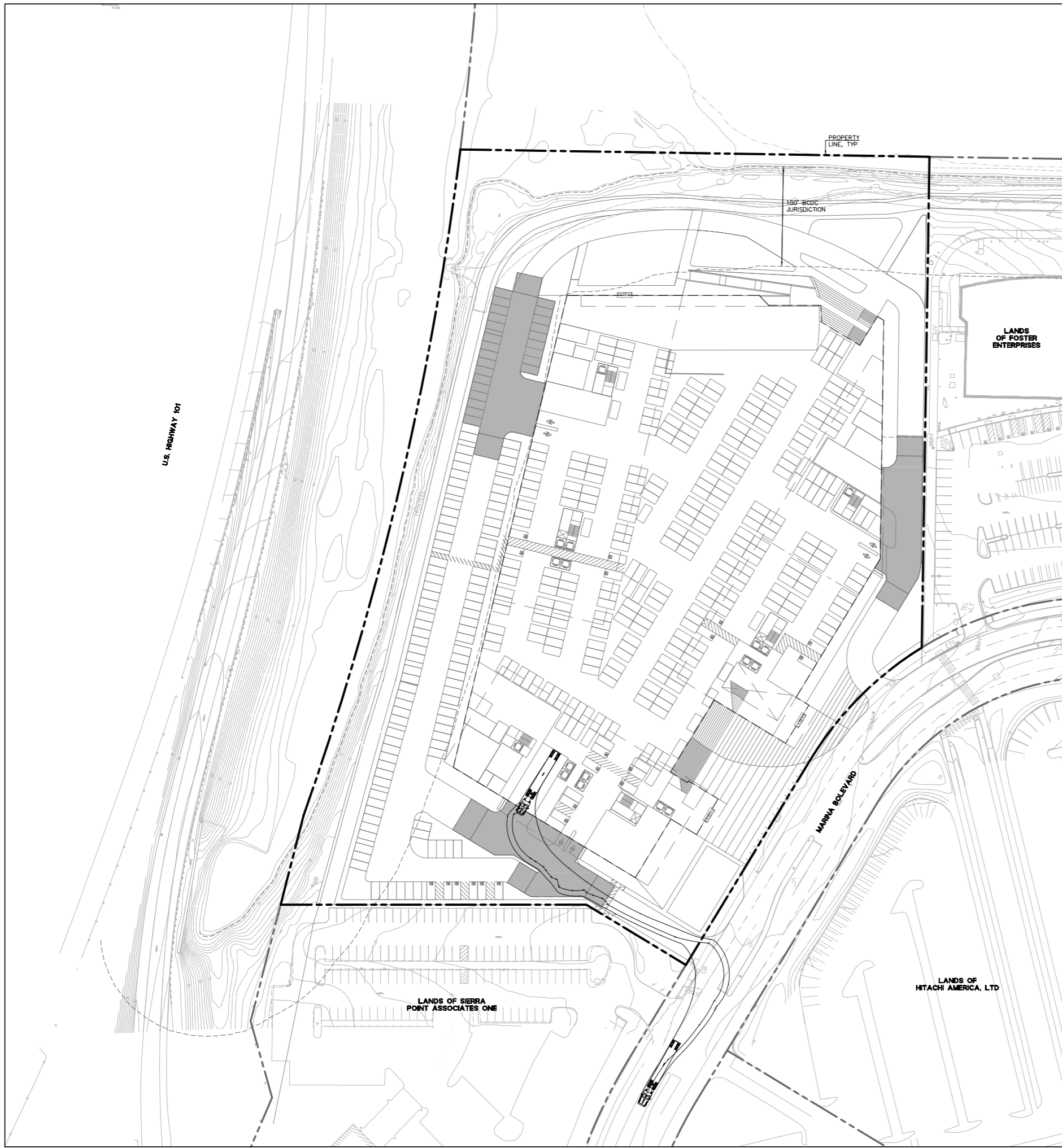
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TRUCK TURNING STUDY
WB-40 - ENTRY

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 PLOT DATE: 07-12-18 PLOTTED BY: Tinc



WB-67

	feet		
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 28.4
Tractor Track	: 8.00	Articulating Angle	: 75.0
Trailer Track	: 8.50		

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BRISBANE, CA

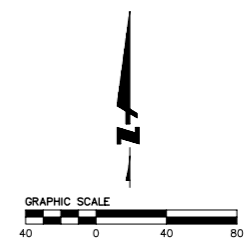
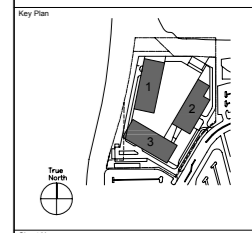
Architect:
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Consultants:
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 ENGINEERS/SURVEYORS/PLANNERS
 255 SHORELINE DR, SUITE 200
 REDWOOD CITY, CA 94065
 650-482-6300
 650-482-6399 (FAX)

Seal & Signature:

 REGISTERED PROFESSIONAL ENGINEER
 THOMAS R. MOORE
 No. 49457
 EXP. 09/30/18
 CIVIL
 STATE OF CALIFORNIA

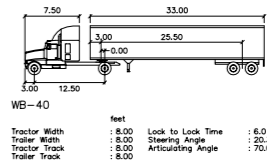
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TRUCK TURNING STUDY
WB-67 - EXIT

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PHASE3
REAL ESTATE PARTNERS

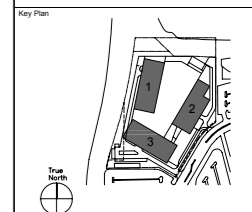
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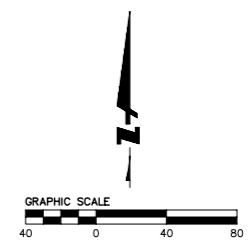


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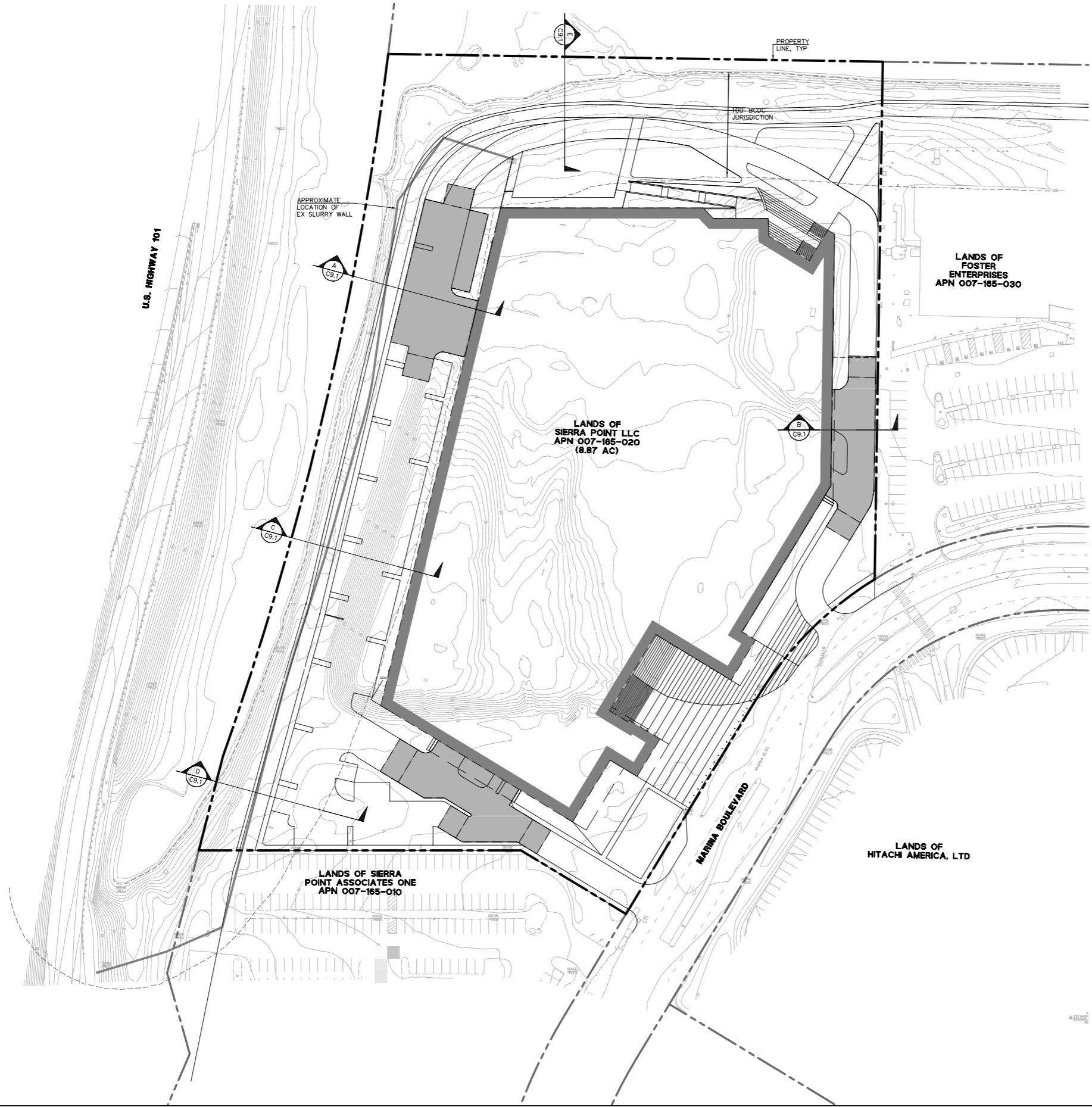


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WB-40 - EXIT**

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 PLOT DATE: 07-12-18 PLOTTED BY: Tinc



LEGEND:

BDC JURISDICTION		PROPOSED		EXISTING	
BOUNDARY LINE					
CONTOUR LINE					
PILE SUPPORTED/HINGE SLAB					

PHASE3
REAL ESTATE PARTNERS

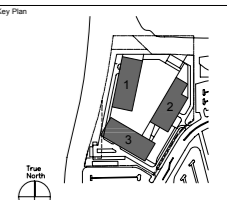
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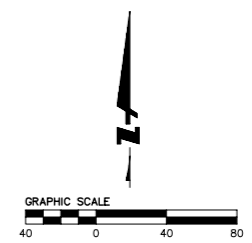
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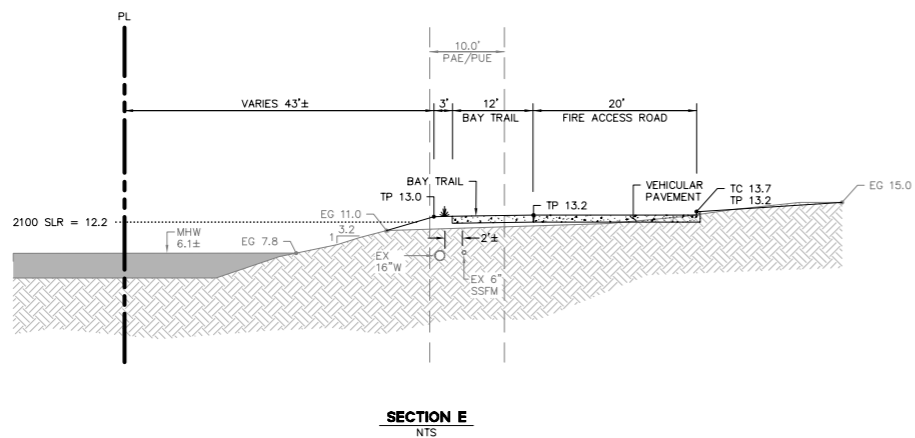
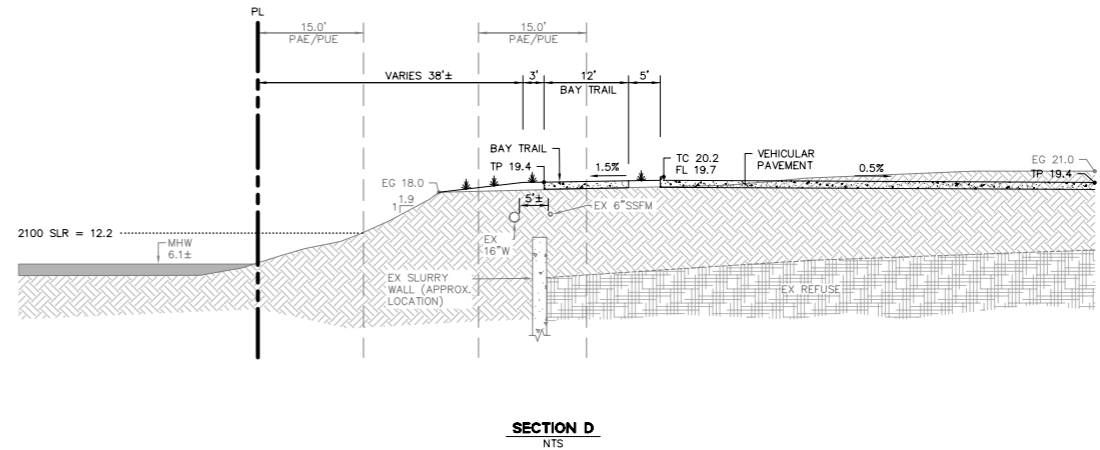
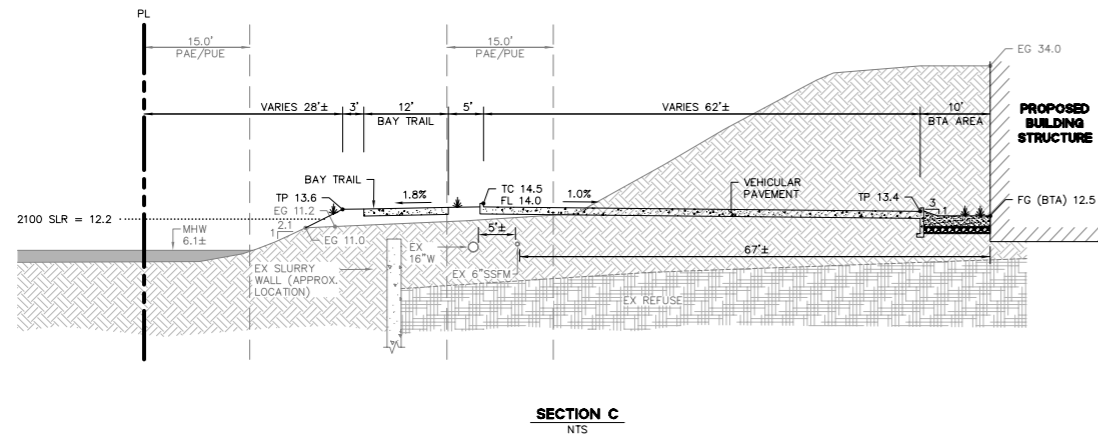
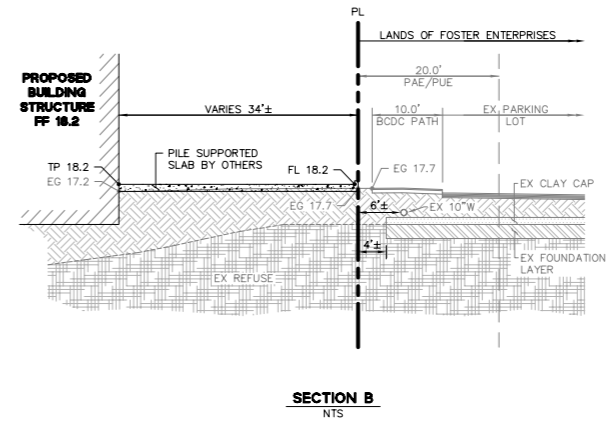
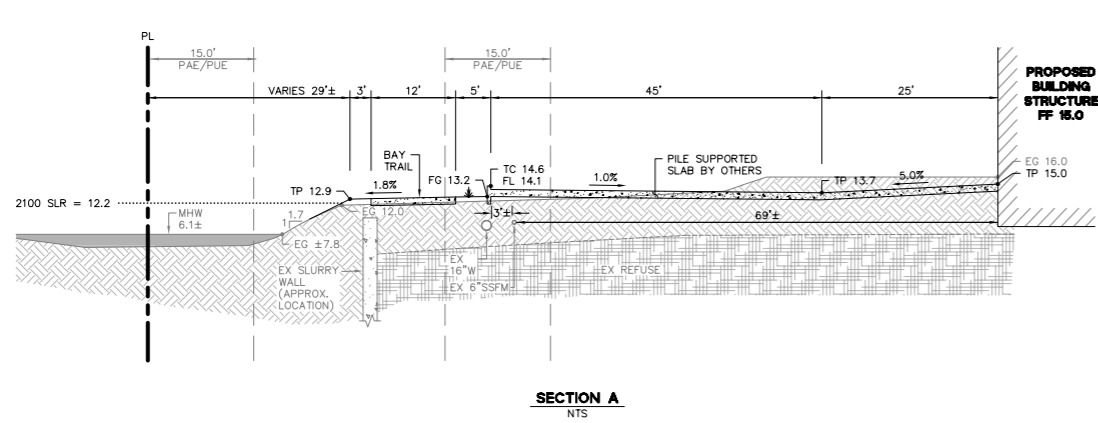


SECTION

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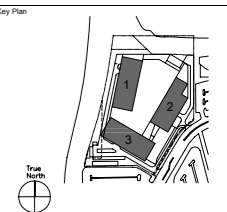


NOTES:

- EXISTING WATER LINE ASSUMED TO HAVE 3 FEET OF COVER. ELEVATIONS TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- ELEVATIONS ARE SHOWN IN NAVD88.
- LOCATION OF EX CLAY CAP TO BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION.
- TBD BY CITY IF PILE SUPPORTED SLABS OVER PUE IS ACCEPTABLE.

ABBREVIATIONS:

BDCD	BAY CONSERVATION & DEVELOPMENT COMMISSION
EG	EXISTING GRADE
EX	EXISTING
FL	FLOW LINE
MHW	MEAN HIGH WATER
MSL	MEAN SEA LEVEL
NTS	NOT TO SCALE
PUE	PUBLIC ACCESS EASEMENT
PUE	PUBLIC UTILITY EASEMENT
SLR	SEA LEVEL RISE
SSFM	SANITARY SEWER FORCE MAIN
TC	TOP OF CURB
TP	TOP OF PAVEMENT
W	WATER



SECTIONS



TREES						
ABBR.	SYM.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	WUCOL
FOR NEO		<i>Forestiera neomexicana</i>	Desert Olive	10	24" BOX	L
ALB JUL		<i>Albizia julibrissin</i>	Mimosa	10	24" BOX	L
ULM WIL		<i>Ulmus wilsoniana 'Prospector'</i>	Prospector Elm	28	24" BOX	L
CER OCC		<i>Cercis occidentalis</i>	Western Redbud	5	15 GAL	L
COR NUT		<i>Cornus nuttallii</i>	Western Dogwood	5	15 GAL	L
MET GLY		<i>Metasequoia glyptostroboides</i>	Dawn Redwood	9	24" BOX	L
CUP SAR		<i>Cupressus sargentii</i>	Sargent Cypress	14	24" BOX	L

PLANTING NOTES:

1. VERIFY LOCATION OF SUBSURFACE UTILITIES, PIPES AND STRUCTURES. SHOULD UTILITIES OR OTHER WORK NOT SHOWN ON THE PLANS BE FOUND DURING EXCAVATIONS. PROMPTLY NOTIFY OWNER'S REPRESENTATIVE, FAILURE TO DO SO WILL MAKE CONTRACTOR LIABLE FOR DAMAGE ARISING FROM HIS OPERATIONS SUBSEQUENT TO DISCOVERY OF UTILITIES NOT SHOWN ON PLANS.
2. LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED TO PLUS OR MINUS 0.10 FT PRIOR TO PROJECT EXECUTION.
3. NO PLANT SPECIES SUBSTITUTIONS WILL BE ACCEPTED. CONTRACT GROW PLANTS AS REQUIRED. CONTRACT GROWN PLANTS MUST MEET INDUSTRY STANDARDS FOR SIZE IN ORDER TO BE ACCEPTED.
4. ALL PLANTS AND LAYOUT TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION OF PLANTING HOLES.
5. NOTIFY OWNER'S REPRESENTATIVE 36 HOURS PRIOR TO COMMENCEMENT OF WORK TO COORDINATE PROJECT OBSERVATION MEETINGS.
6. SPACE GROUND COVERS TRIANGULARLY IN PLANTING AREAS.
7. NO SUBSTITUTION OF SPECIES WITHOUT APPROVAL FROM THE LANDSCAPE ARCHITECT.
8. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. QUANTITIES SHOWN ON THE PLANT SCHEDULE AND ON THE PLANTING PLANS ARE FOR THE CONTRACTOR'S REFERENCE ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITIES SHOWN ON THE SCHEDULE AND ON THE PLAN, THE PLANS SHALL GOVERN.

P1	SHRUBS AND GROUNDCOVER TYPE 1							
	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	WUCOL	IRRIGATION
	MAH AQU	<i>Ilex aquifolium</i>	Common Holly	50%	1 GAL	12" O.C.	L	BUBBLER
	POL MUN	<i>Pellaea andromedifolia</i>	Coffee Fern	10%	5 GAL	AS SHOWN	L	DRIP
	SYM ALB	<i>Symphoricarpos albus</i>	Snowberry	5%	5 GAL	AS SHOWN	L	DRIP
	HEL ORI	<i>Helleborus orientalis</i>	Hellebore	5%	1 GAL	12" O.C.	L	DRIP
	GER PYR	<i>Geranium pyrenaicum 'Bill Wallis'</i>	Bill Wallis Geranium	15%	1 GAL	12" O.C.	L	DRIP
	SOL SOL	<i>Soleirolia soleirolii</i>	Baby's Tears	15%	2" POT	4 / 1SQ. FT.	L	DRIP

SHEET NOTES:

1. FOR PLANTING PLANS, SEE SHEETS L4.01 TO L4.02
2. FOR PLANT IRRIGATION, SEE IRRIGATION PLANS

P2	SHRUBS AND GROUNDCOVER TYPE 2							
	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	WUCOL	IRRIGATION
	LIG OVA	<i>Ligustrum ovalifolium</i>	California Privet	20%	5 GAL	24" O.C.	L	BUBBLER
	ART POW	<i>Artemisia 'Powis Castle'</i>	Artemisia	5%	5 GAL	36" O.C.	L	DRIP
	MUH DUB	<i>Muhlenbergia dubia</i>	Pine Muhly	10%	1 GAL	18" O.C.	L	DRIP
	ARC MAN	<i>Arctostaphylos manzanita 'Dr. Hurd'</i>	Dr. Hurd Manzanita	35%	5 GAL	18" O.C.	L	BUBBLER
	SED SPE	<i>Sedum spectabile 'Autumn Fire'</i>	Autumn Fire Stonecrop	5%	1 GAL	18" O.C.	L	DRIP
	WES FRU	<i>Westringia fruticosa 'Smokey'</i>	Westringia	12%	5 GAL	36" O.C.	L	DRIP
	STA BYZ	<i>Stachys byzantina</i>	Lamb's Ear	5%	1 GAL	12" O.C.	L	DRIP
	ANI SPP.	<i>Anigozanthos 'Amber Violet'</i>	Kangaroo Paw	8%	2	24" O.C.	L	DRIP



MIMOSA TREE



PROSPECTOR ELM TREE



SARGENT CYPRESS TREE



CALIFORNIA PRIVET



OLIVE GROVE

LP	LAVENDER PLANTERS							
	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	WUCOL	IRRIGATION
	STA BYZ	<i>Stachys byzantina</i>	Lamb's Ear	15%	1 GAL	12" O.C.	L	DRIP
	LAV ANG	<i>Lavandula spp.</i>	Lavender	85%	1 GAL	18" O.C.	L	DRIP



COMMON HOLLY



COFFEE FERN



LAVENDER

GW	SLANTED GREEN WALL							
	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	WUCOL	IRRIGATION
	SED VAR	<i>Sedum Variety</i>	Succulent	100%	4"	8-12" O.C.	L	DRIP



SEDUM



DAWN REDWOOD



KANGAROO PAW

BF	BIO-FILTRATION PLANTS					
	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING
	CAR TUM	<i>Carex tumulicola</i>	Berkeley Sedge	55%	5 GAL	18" O.C.
	FRA CHI	<i>Fragaria chiloensis</i>	Sand Strawberry	15%	4" POTS	12" O.C.
	JUN PAT	<i>Juncus patens</i>	California Grey Rush	25	5 GAL	18" O.C.
	MIM AUR	<i>Mimulus aurantiacus var. puniceusmunitum</i>	Monkey Flower 'Ruby Slippers'	5%	5 GAL	24" O.C.



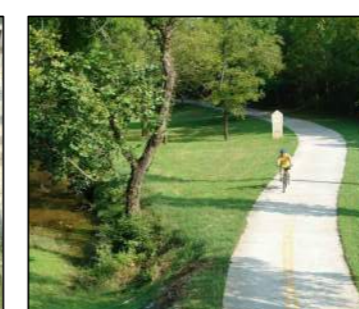
BAY TRAIL SURFACE - DG



FIRE LANE SURFACE - GRASS PAVERS



GREAT LAWN



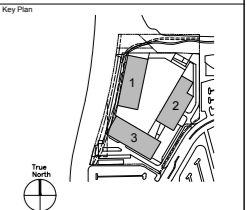
CREEKSIDE BAY TRAIL



SLANTED GREEN WALL

LAWN	LAWN						
	ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SPACING	WUCOL	IRRIGATION
	HYB BER	<i>Cynodon dactylon (hybrid)</i>	Hybrid Bermuda	100%	Hydroseed	L	DRIP

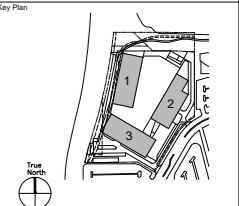
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- PAVING TYPES**
- * LIGHT SANDBLAST FINISH WITH ALTERNATING COLOR.
-HANOVER, PREST PAVER - NATURAL, TUDOR FINISH
-HANOVER, PREST PAVER - GLACIER WHITE, TUDOR FINISH
 - ** LIGHT SANDBLAST FINISH
-HANOVER, PREST PAVER - GLACIER WHITE, TUDOR FINISH

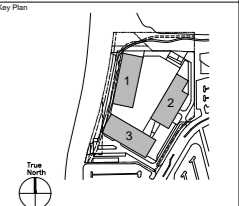


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LANDSCAPE PLAN

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Scale:	1/32" = 1'-0"	© Copyright, SOMMER, OWINGS & MERRILL, LLP, 2018	rev 09/02/18

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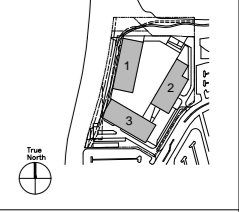
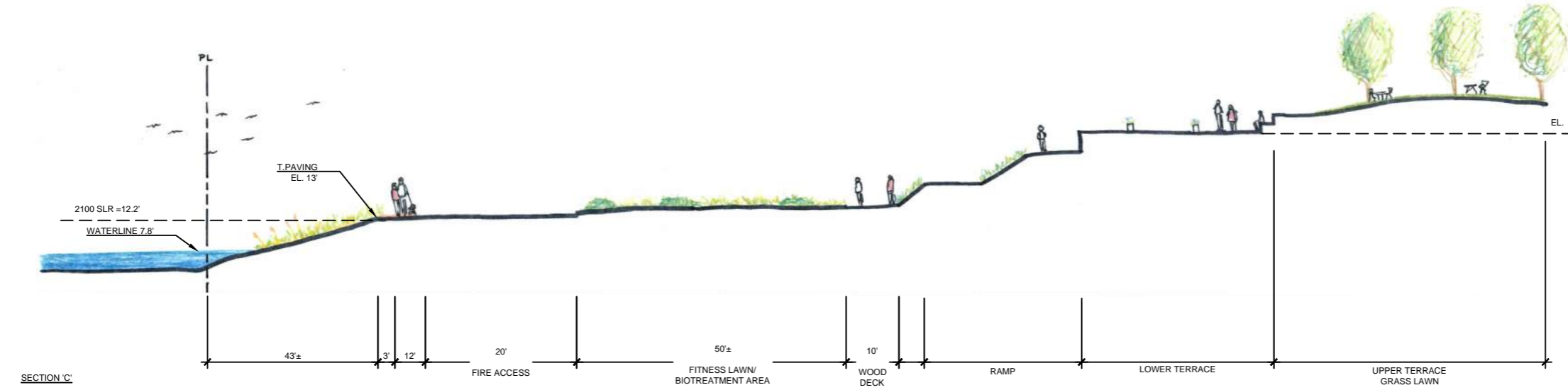
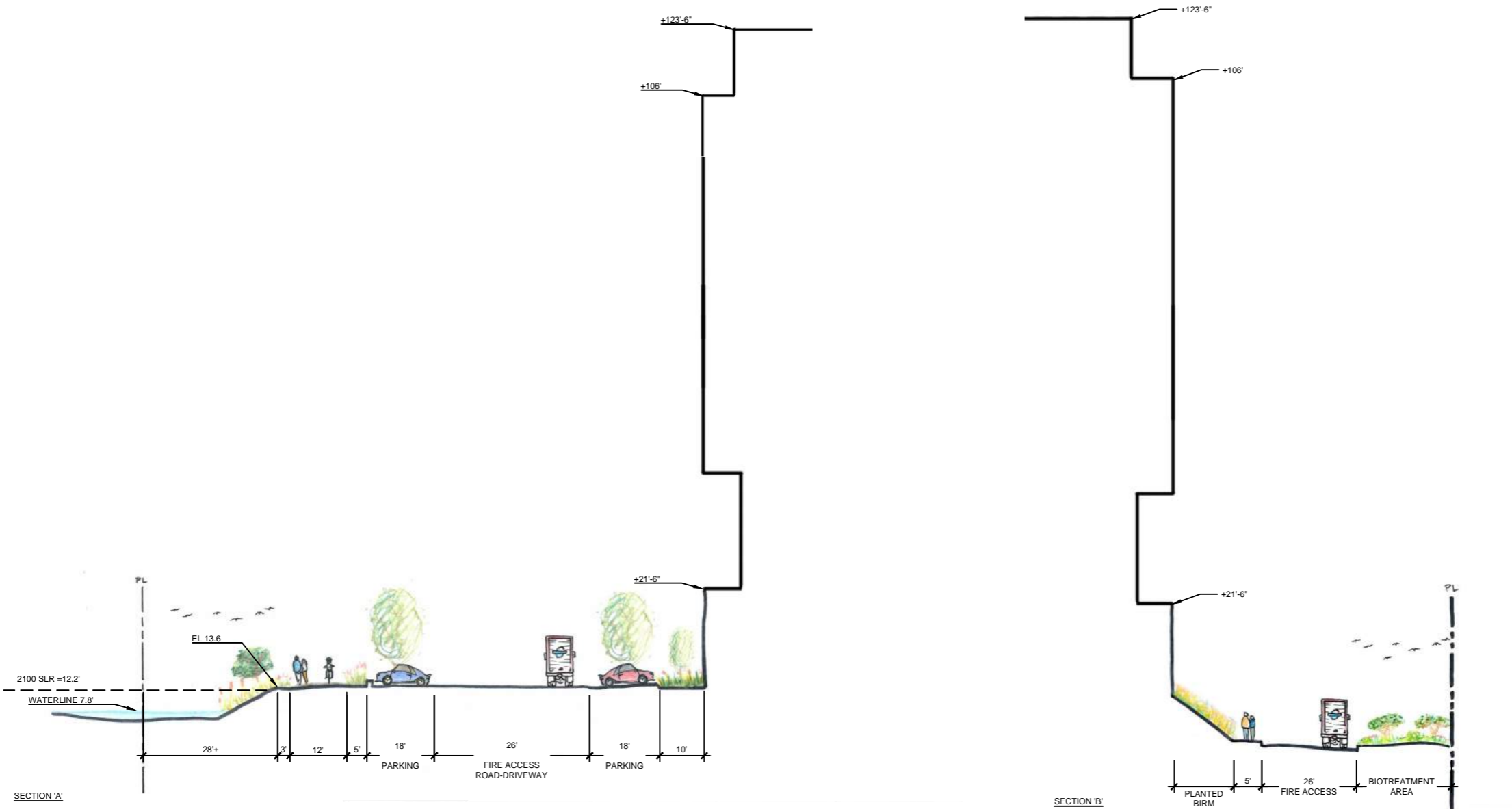
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RENDER**

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DESIGN PERMIT ALTERNATE - REV. 2	2018.09.10



SITE SECTIONS

Christopher Beasley 8/3/2018 2:42 PM Y:\SOM 803-3500 Marina\3.0 Dwg\3.05 Sheet_Sect\L- LANDSCAPE SECTION AND PRECEDENTS.dwg

Kam Ltd
7/13/2018 10:21 AM\WVA\SHEET\A1-01.dwg

SHEET NOTES:
1. ALL ACCESSIBLE PATHS OF TRAVEL SHALL BE NO LESS THAN 48" WIDE PER CBC 11B-403.5
2. ALL ACCESSIBLE PATHS OF TRAVEL SHALL HAVE A RUNNING SLOPE OF WALKING SURFACES NOT STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48

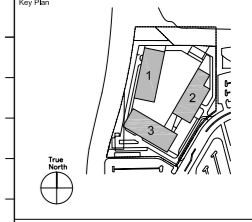
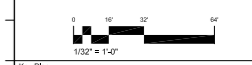
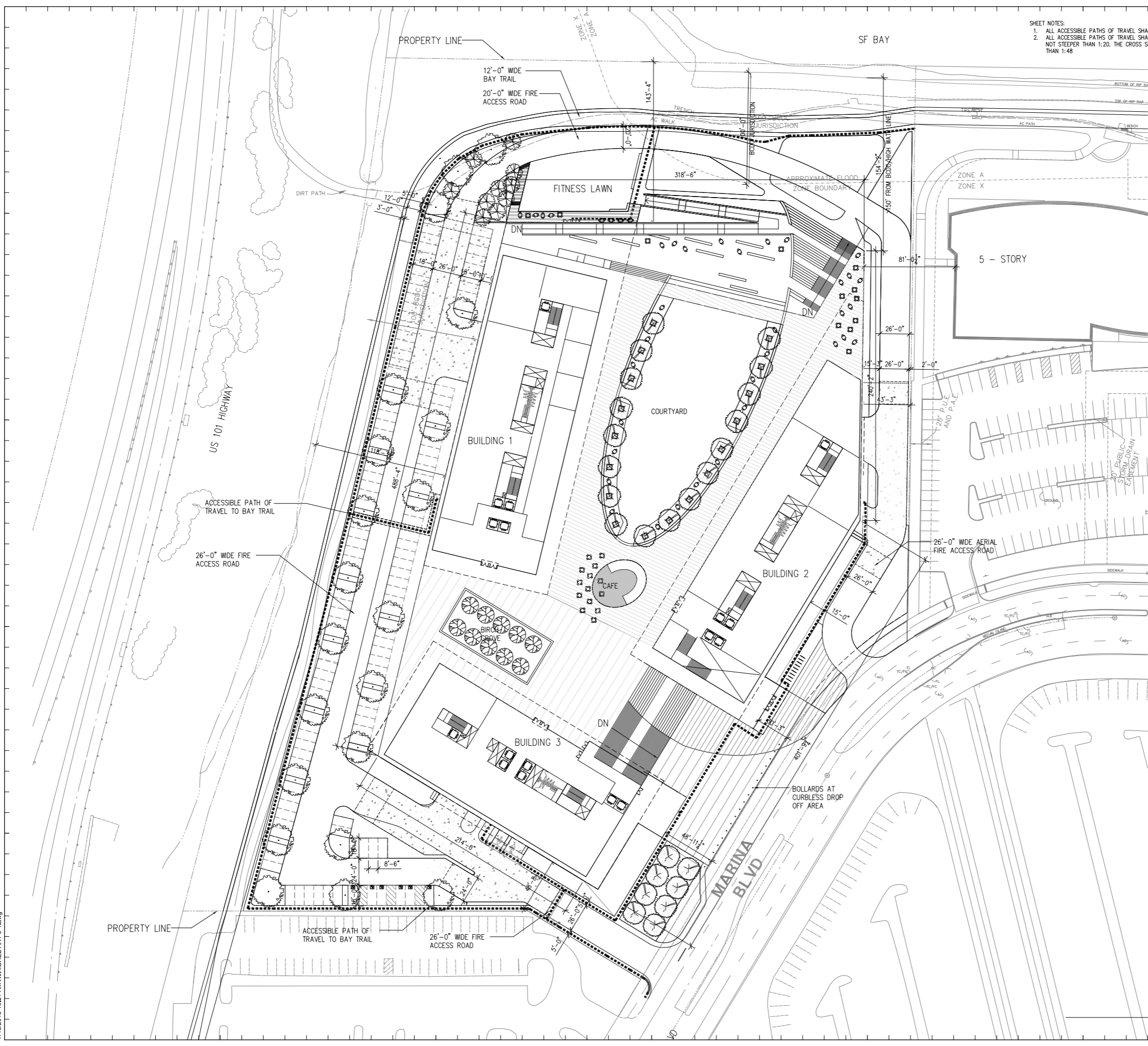
PHASE3
REAL ESTATE PARTNERS

3000-3500 MARINA BLVD
BRISBANE, CA

SOM
SKIDMORE, OWINGS & MERRILL LLP
ONE FRONT STREET SAN FRANCISCO, CA 94111

Contract:
Seal & Signature:

Issued For: _____ Date: _____
By: _____
DESIGN PERMIT ALTERNATE 2018.02.15
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Sheet Name:
SITE PLAN

Project No.: 517617
Sheet No.: A1.01
Drawn By: TEAM
Checked By: LEFD
Scale: 1/32" = 1'-0"

SITE PLAN O1
Scale: 1/32" = 1'-0"

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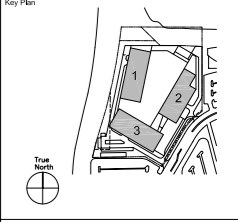
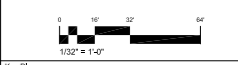
Kam Ltd
7/12/2016 3:25 PM WVA\SHHEETA2-01.dwg



- GENERAL NOTES:
1. PILE SUPPORTED SLABS AND HINGE SLABS WILL BE PROVIDED AT ALL PEDESTRIAN AND VEHICULAR ENTRANCES IN THE BUILDING PERMIT TO COMPLY WITH ALL CODE REQUIREMENTS.
 2. NORTH-WEST LOADING DOCK AND GARAGE ENTRANCE PILE SUPPORTED AND HINGE SLABS OVER PUBLIC UTILITY EASEMENTS (PUE) TO BE COORDINATE WITH CITY OF BRISBANE.
 3. 26'-0" MIN. WIDE FIRE APPARATUS ACCESS ROAD PROVIDED ON SOUTH, WEST AND EAST SIDE. 20'-0" WIDE FIRE ACCESS PASS THROUGH ROAD PROVIDED PER NORTH COUNTY FIRE AUTHORITY REQUIREMENTS.

Contract No.:
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DESIGN PERMIT ALTERNATE	2018.02.15
DESIGN PERMIT ALTERNATE - REV. 1	2018.07.13



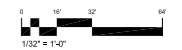
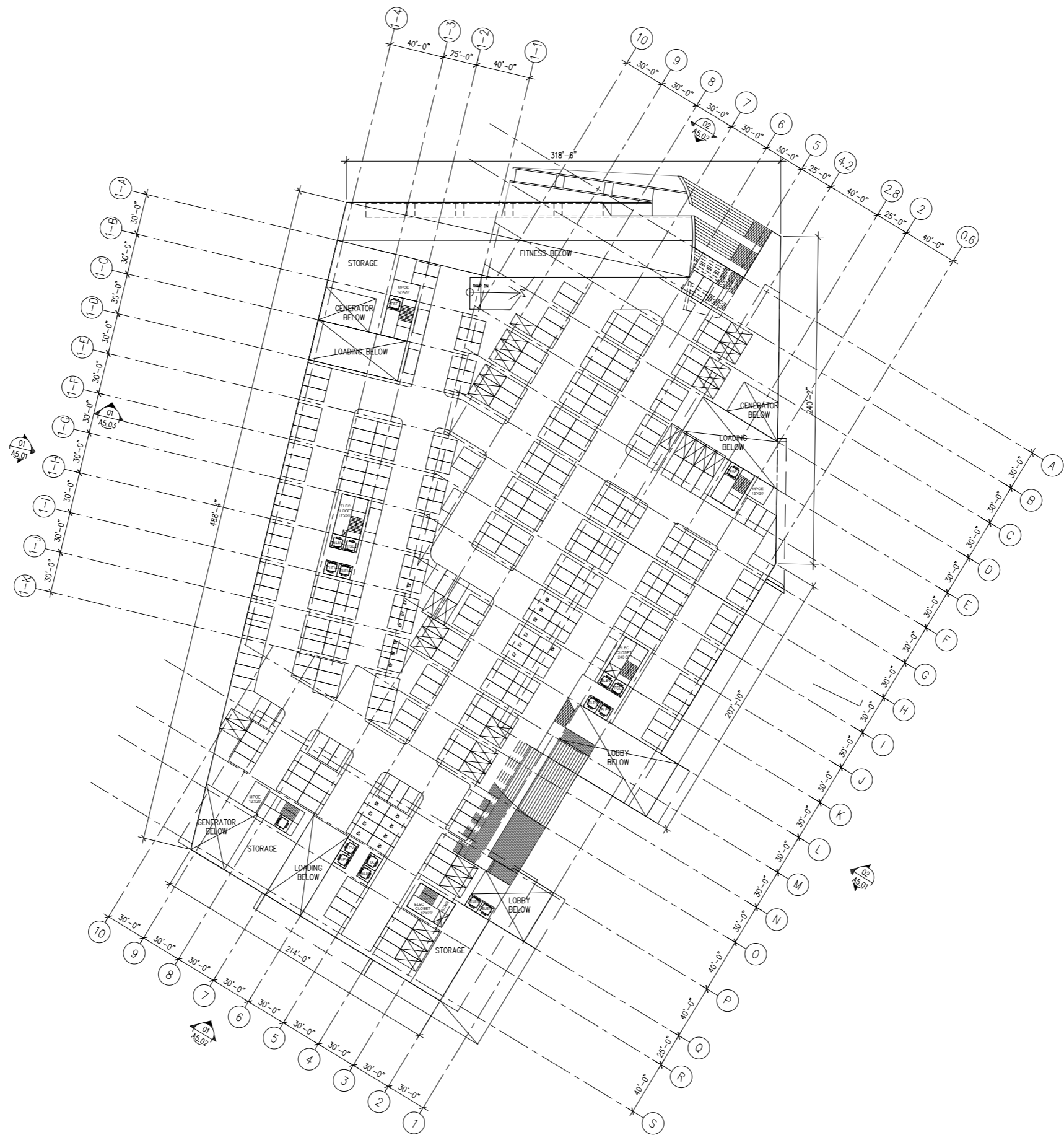
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GROUND LEVEL ARCHITECTURAL PARKING PLAN - P1

Project No:	517617	Sheet No:	A2.0.1
Drawn By:	TEAM	Checked By:	LEAD
Scale:	1/32" = 1'-0"	© Copyright Skidmore, Owings & Merrill LLP 2018	

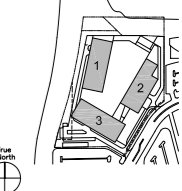
Consultants:

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Issued For:	Date:
DESIGN PERMIT ALTERNATE	2018.02.15
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Key Plan



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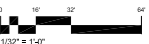
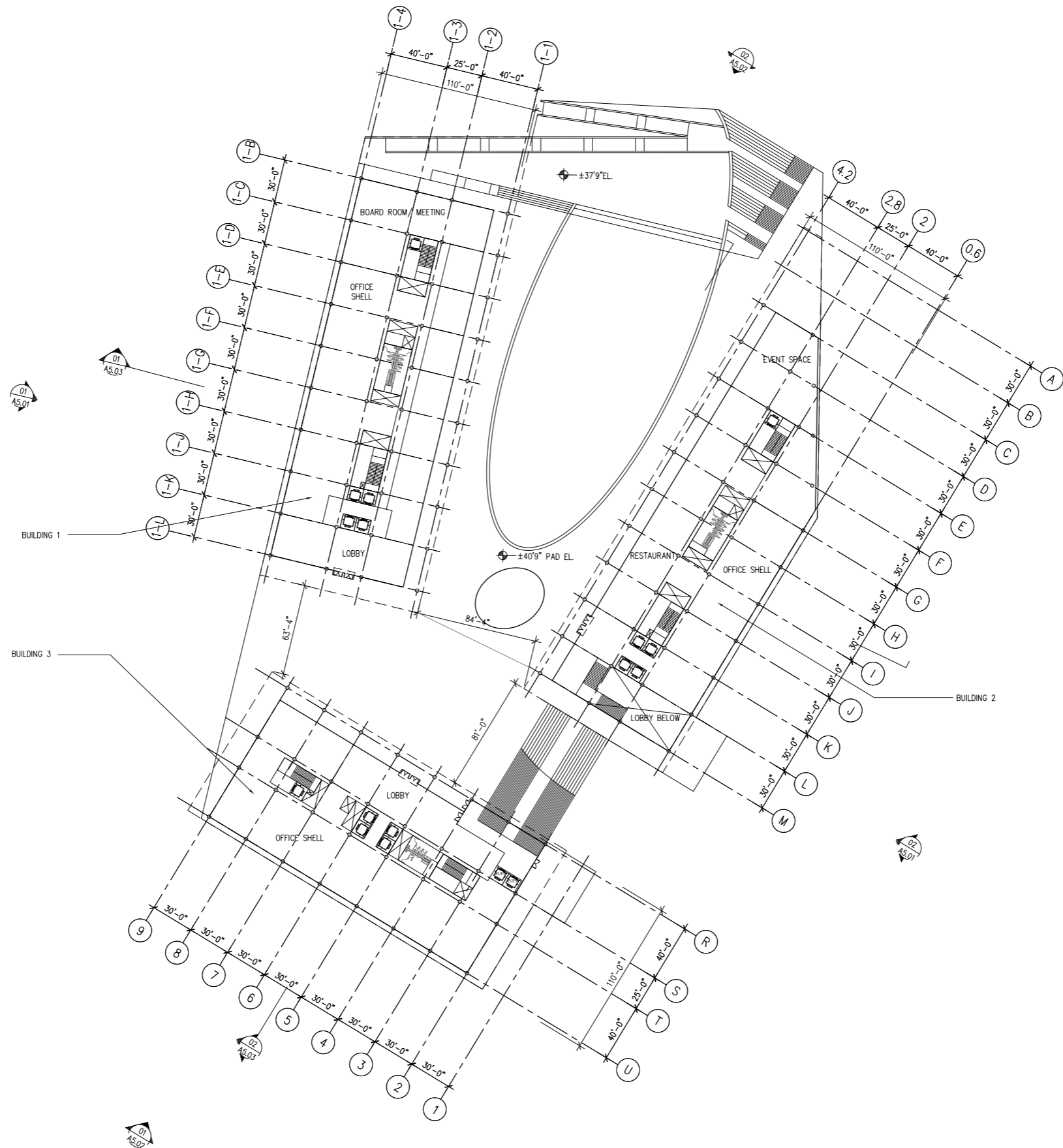
PARKING LEVEL 2
ARCHITECTURAL PLAN

Project No: 517617

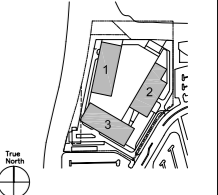
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Key Plan



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LEVEL 2
ARCHITECTURAL PLAN

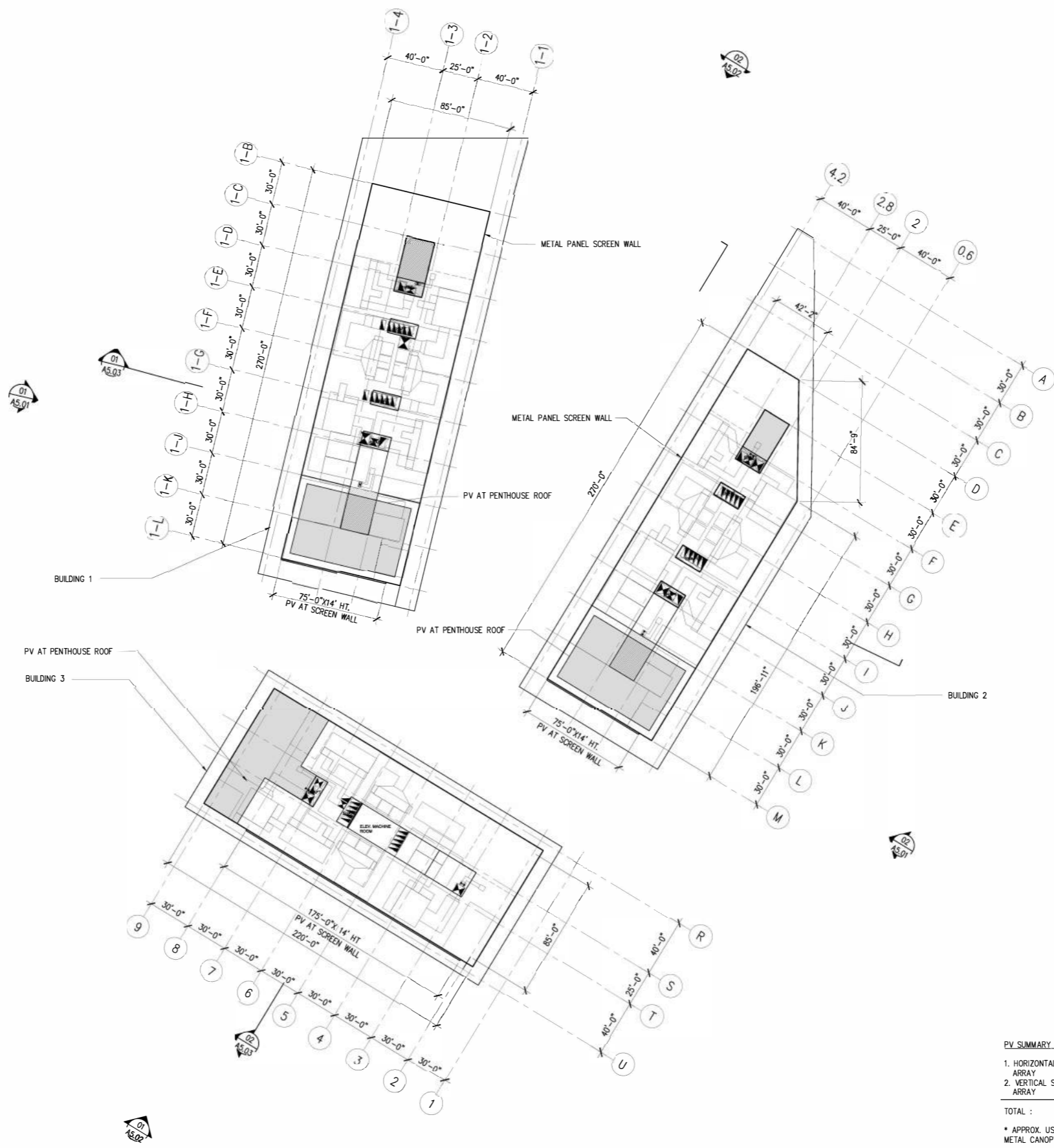
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Checked By: LEAD

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LEVEL 2 ARCHITECTURAL PLAN 01



Key Plan



PV SUMMARY :

1. HORIZONTAL ROOF ARRAY	9,630 SF
2. VERTICAL SCREEN ARRAY	4,550 SF
TOTAL :	14,210 SF

* APPROX. USABLE PV AREA ON OPUS GARAGE CENTER AISLE METAL CANOPY = 10,400 SF

Sheet Name:

LEVEL ROOF ARCHITECTURAL PLAN

LEVEL ROOF ARCHITECTURAL PLAN 01
1/32"=1'-0"

Project No.:	517617	Sheet No.:	A2.0.4
Drawn By:	TEAM		
Checked By:	LEAD		
Scale:	1/32"=1'-0"		

Architect:

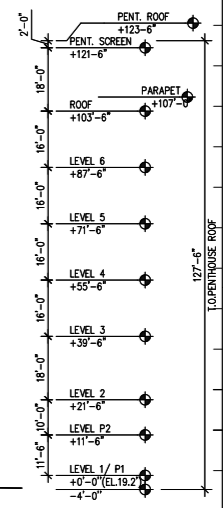
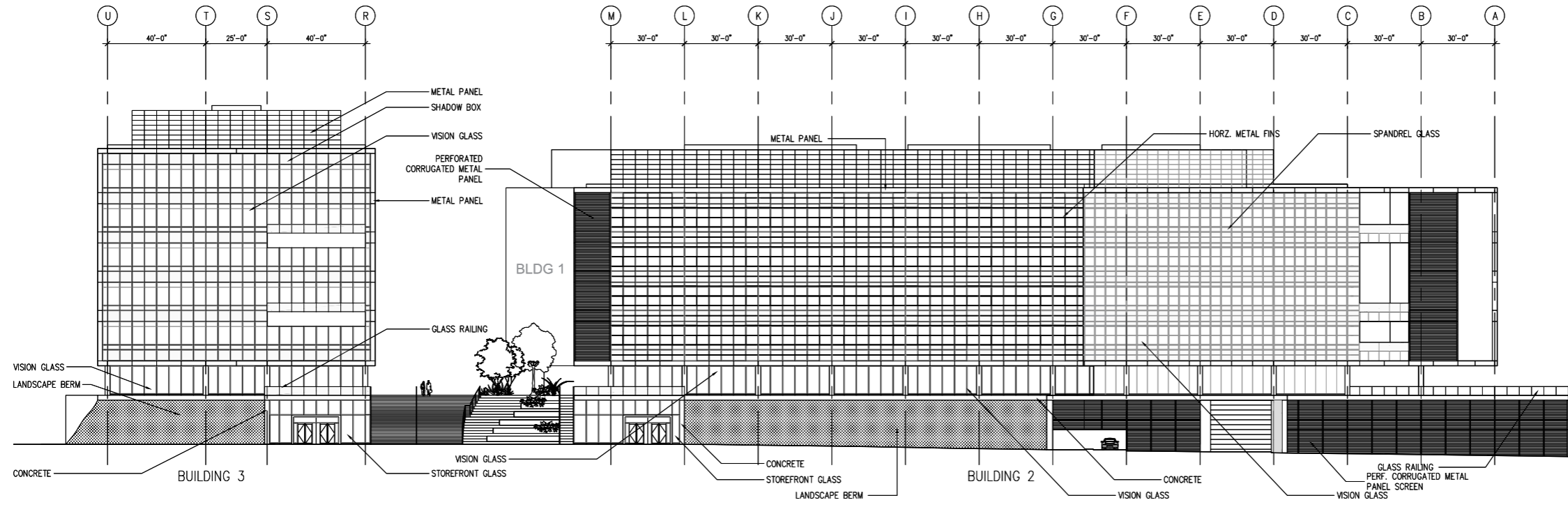
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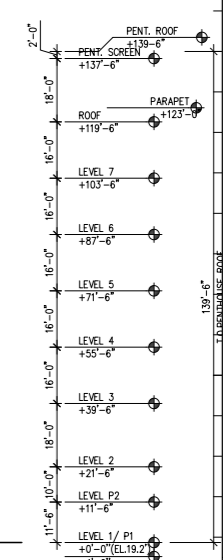
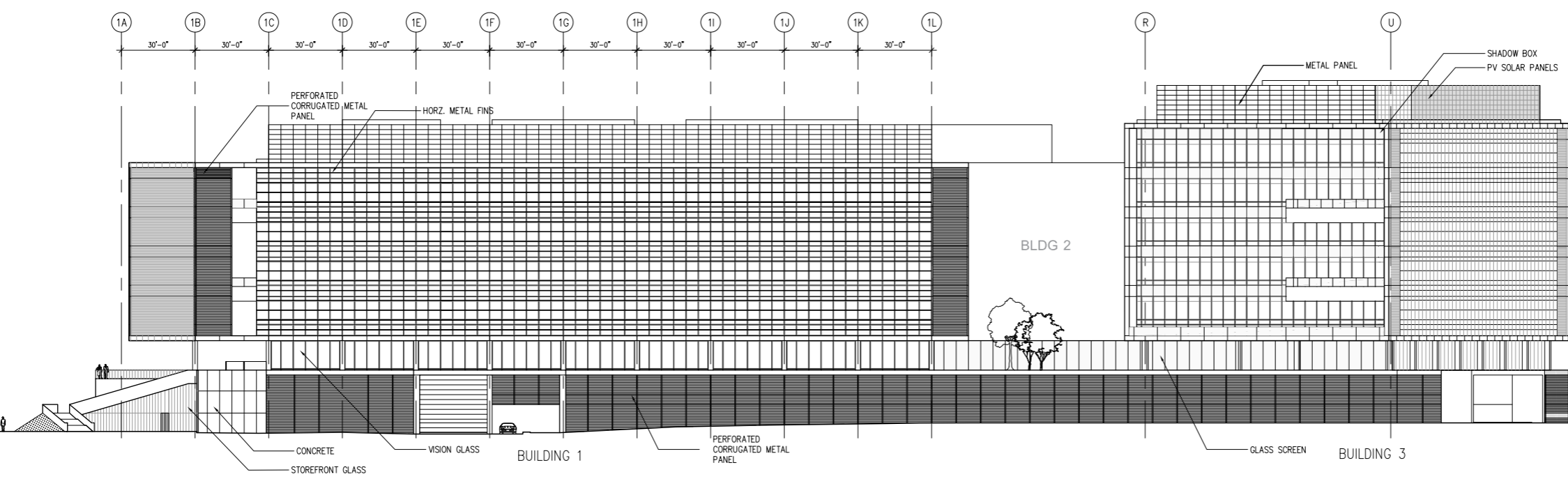
DESIGN PERMIT ALTERNATE 2018.02.15

DESIGN PERMIT ALTERNATE - REV. 1 2018.07.13

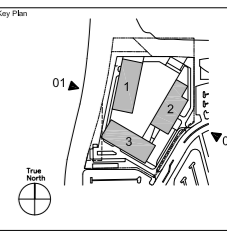
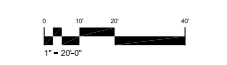
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EAST ELEVATION 02
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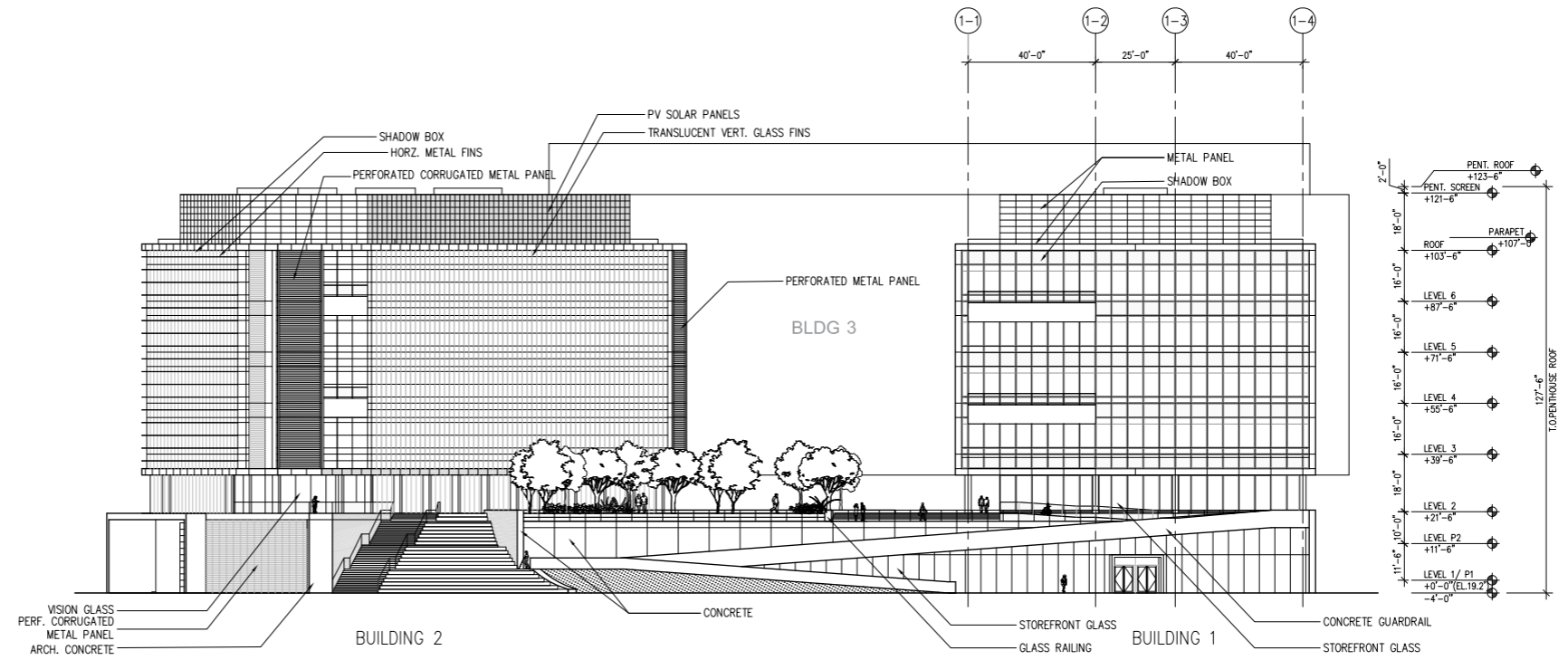
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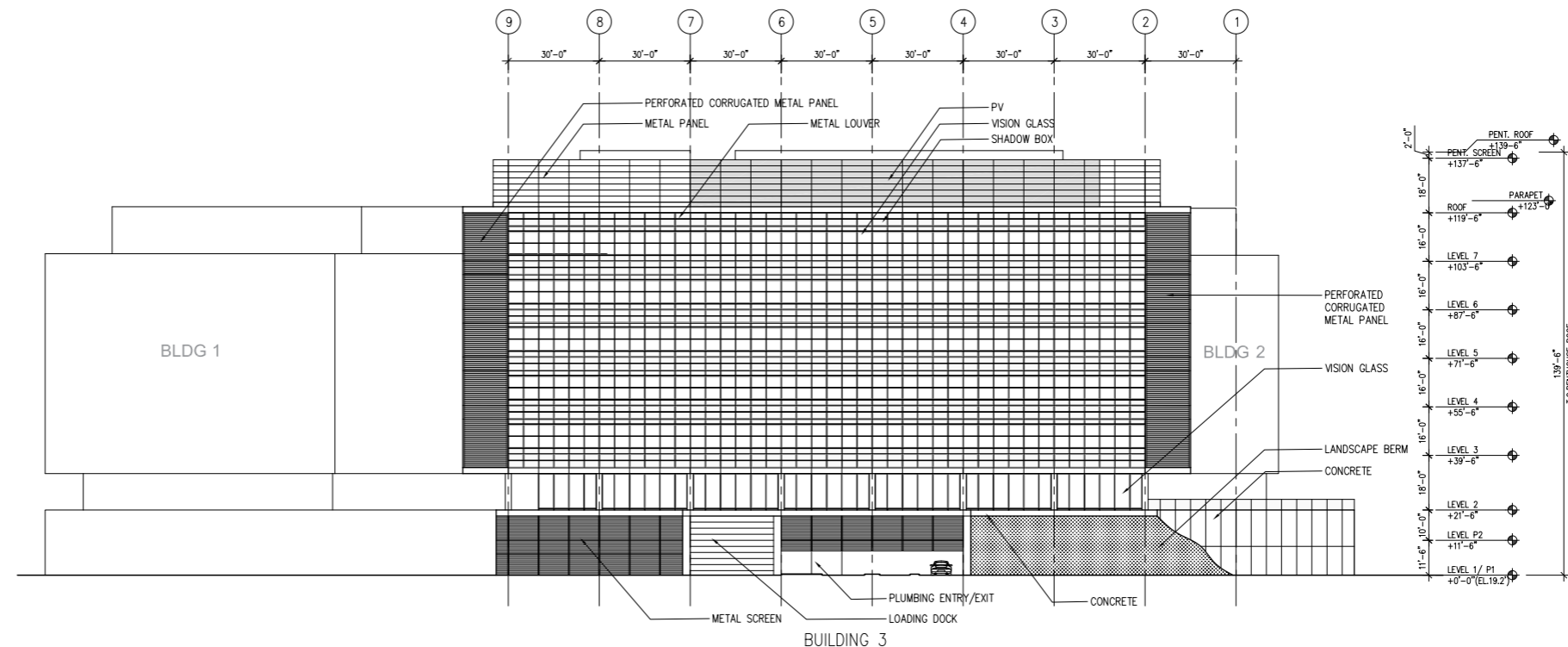
BUILDING ELEVATIONS

Project No: 517617
Drawn By: TEAM
Checked By: LEAD
Scale: AS NOTED
Sheet No: A5.0.1

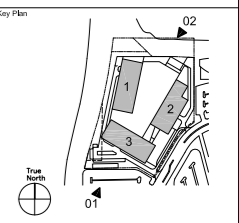
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NORTH ELEVATION 02
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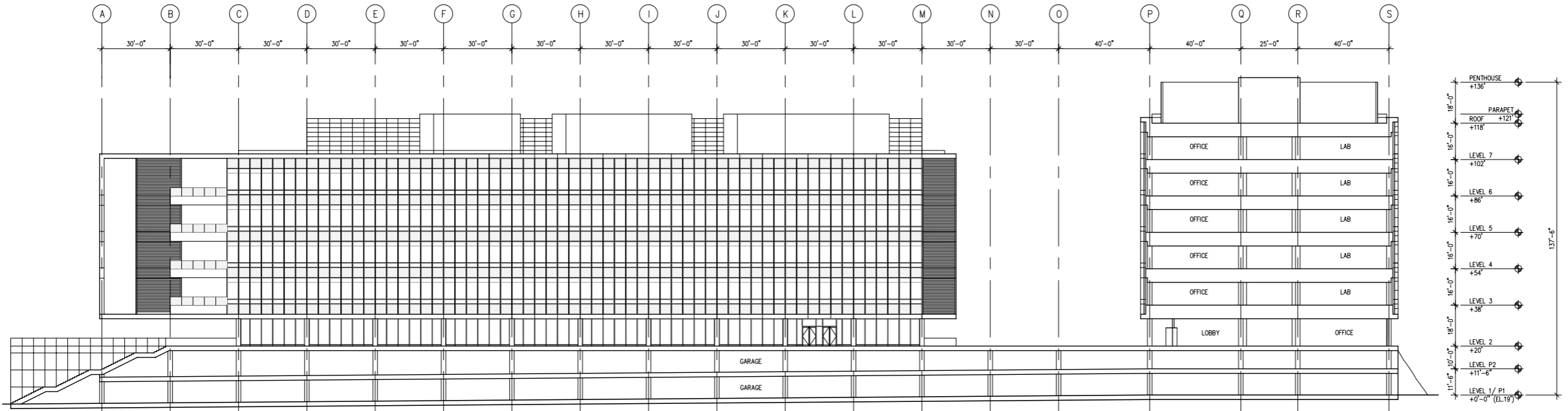


SOUTH ELEVATION 01
Scale: 1" = 20'-0"



OVERALL BUILDING ELEVATIONS

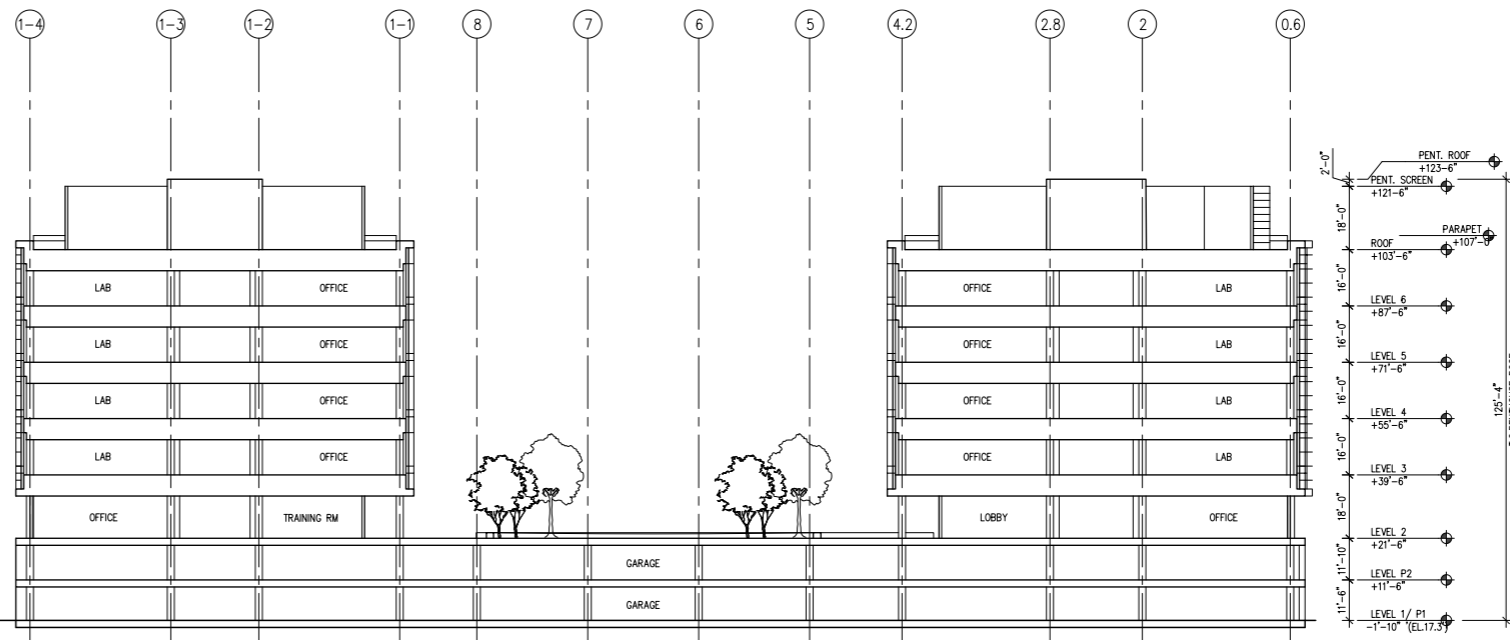
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BUILDING 2

BUILDING 3

NORTH-SOUTH SECTION LOOKING WEST 02
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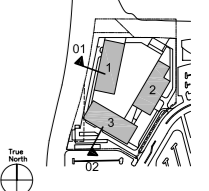
BUILDING 1

BUILDING 2

EAST-WEST SECTION 01
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Key Plan



Sheet Name:

OVERALL BUILDING SECTIONS

Project No.: 517617 Sheet No.: A5.0.3

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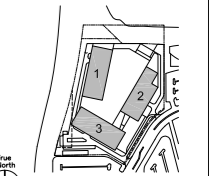
Rev. Description Date

DESIGN PERMIT ALTERNATE 2018.02.15

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Key Plan



Sheet Name:

OVERALL
PERSPECTIVE VIEWS

Project No.:

517617

Drawn By: TEAM

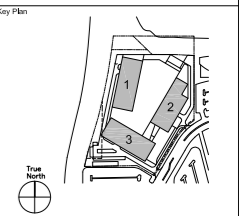
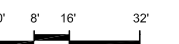
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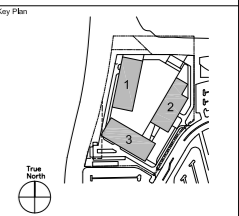
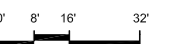
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Sheet Name:
**OVERALL
PERSPECTIVE VIEW**

MARINA BOULEVARD ENTRANCE 01

Project No.: 517617	Sheet No.: A5.0.6
Drawn By: TEAM	
Checked By: LEAD	
Scale:	



Sheet Name:
**OVERALL
PERSPECTIVE VIEW**

Project No.: 517617
Sheet No.: A5.0.7
Drawn By: TEAM
Checked By: LEAD
Scale:

VIEW FROM US 101 S 01