

# *City of Brisbane*

## *Planning Commission Agenda Report*

**TO:** Planning Commission For the Meeting of 8/25/11

**FROM:** Tim Tune, Senior Planner, via John Swiecki, Community Development Director

**SUBJECT:** (462) & (466) Kings Road; Use Permit UP-14-11, Variance V-3-11 & Setback Exception Modification SB-1-11; Use Permit to Modify the Parking Regulations to Recognize Four Parking Spaces within the "Alexander Road" Easement, Including Two Off-Site for (466) Kings Road, Variance for Shared Driveway (Alexander Road) and for Houses to Exceed Height Limits, and Setback Exception Modification for Elevated Stairway Within the Side Setbacks Between (462) & (466) Kings Road; Peter Anderson, applicant; Tuhin Roy & Lorn Dittfeld and Tara Schraga, owners; APNs 007-443-110 & 007-443-120

**REQUEST:** Two new houses are proposed to be constructed at 462 Kings Road (referred to as "House 2" on the submitted plans) and 466 Kings Road ("House 1") on four vacant lots formerly occupied by a single house that burned down in 1986. Each house will have its own two-car garage accessed from the rear via Alexander Road, a private easement to which the City is a party since the roadway serves the City's water tank farther above. To provide the two additional on/off-street parking spaces required for each house, a landscaped parking pad is proposed at 462 Kings Road in an old cut on the upslope side of the roadway. The proposed uncovered parking spaces will be located outside the improved width of the roadway, but still within the 50 ft. width of the easement. Because the easement does not specifically address parking rights within its boundaries, the City Attorney had advised that a Use Permit be required to recognize parking within the easement, including 2 off-site spaces for the house at (466) Kings Road. This will allow contingencies to be considered in the event that one of the other beneficiaries of the easement should successfully challenge the use of the easement for parking. The Planning Commission previously approved Use Permits UP-6-05 & UP-7-05 to modify the parking regulations for this project on November 10, 2005, but those approvals have expired.

Plans were approved to regrade and widen Alexander Road to 20 ft. per City street standards as part of the final parcel map for Brisbane Acres Unrecorded Lot 90 (488 Kings Road), but progress on that project has stalled. Because the roadway has not been improved to public street standards, it is essentially a shared driveway, for which a Variance is required.

Because the applicants cannot afford to improve Alexander Road on their own to provide emergency access per Building & Fire Code standards, an alternative means of emergency access to the houses is proposed via a shared stairway located within the houses' adjoining side setbacks. The stairway would run from Kings Road up the steep hillside to the rear of the two

houses. Because the Zoning Ordinance only provides an exception for stairs on grade within the side setback, a Setback Exception Modification is required for the elevated portions of the stairway.

Although the roofs of the two proposed houses are sloped to reflect the topography of the hillside as well as the grades of the roadways below and above them, their heights as measured per the Brisbane Municipal Code exceed the 30 ft. height limit and the 20 ft. height limit applicable to the front 15 ft. of the properties, requiring Variance approval.

**RECOMMENDATION:** Conditionally approve Use Permit UP-14-11, Variance V-3-11 and Setback Exception SB-1-11 per the agenda report with attachments, via adoption of Resolution UP-14-11/V-3-11/SB-1-11 with Exhibit A containing the findings and conditions of approval.

**ENVIRONMENTAL DETERMINATION:** The construction of two single-family residences with a small uncovered parking area is categorically exempt from the provisions of the California Environmental Quality Act per Sections 15303(a) & 15311(b) of the State CEQA Guidelines. The exceptions to this categorical exemption referenced in Section 15300.2 do not apply.

**APPLICABLE CODE SECTIONS:** Brisbane Municipal Code Section 17.34.010 requires that 2 covered and 2 on/off-street parking spaces be provided for single-family residences, with no provision for required parking being provided on an adjacent private property. BMC Section 17.34.115 allows the Planning Commission to modify the parking regulations subject to Use Permit approval. The applicable findings for such Use Permits are found in BMC Sections 17.40.060 and 17.34.115.A & B.

“Driveway” is defined by BMC Section 17.02.220 as providing access on a single site. A Variance to this restriction is required to allow a driveway to be shared by multiple properties. A Variance is also required for buildings to exceed the 30 ft. height limit per BMC Section 17.06.040.G.1.b and to exceed the 20 ft. height limit within the front 15 ft. of the property per BMC Section 17.06.040.G.2. The findings required for Variances are contained in BMC Section 17.46.010.

BMC Section 17.32.070.A.1.e states, “Stairs on grade, sidewalks, and other flatwork constructed of noncombustible materials may be located anywhere within the side setback area,” and that “the planning commission may approve a modification to the foregoing exceptions for stairs...” if the Commission is able to make the required findings.

**ANALYSIS AND FINDINGS:** Three different types of planning permits are required for this project, each subject to a different set of findings.

**Use Permit:** In order to approve the Use Permit to modify the parking regulations in order to accept an uncovered off-street parking space in lieu of a covered space, the Planning

Commission must find that such approval would be consistent with the General Plan, that it would result in no detriment to persons or property in the neighborhood or to the City in general, that there is no need for strict enforcement due to present or anticipated traffic volume or site circulation, and that no on-street parking impacts would result.

General/Specific Plan Consistency—The 1994 General Plan addresses the potential impacts of the City's parking requirements upon hillside construction and on-street parking per the following:

Program 22c: Review the residential parking requirements in the Zoning Ordinance to determine their effect on the height, mass and scale of structures and grading implications and whether amendments to the Code should be considered.

Policy 56: Maintain as much on-street parking in residential Brisbane as can be accommodated safely.

Program 56a: Review off-street residential parking requirements in the Zoning Ordinance to assess impacts on the availability of on-street parking.

Program 253a: Study the impacts of off-street parking requirements on residential and commercial site and structural design.

For the subject properties, an existing cut slope on an access easement is proposed to be improved as a shared parking area to avoid the alternative of excavating individual driveways directly from Kings Road. This avoids impacting existing on-street parking on Kings Road, as well as constructing additional retaining walls along the street.

Not Detrimental or Injurious to Neighborhood or City—The Planning Commission has previously found that it is not detrimental or injurious to the City's neighborhoods to accept parking not located on a subject property or at its frontage, as was done at 258 Santa Clara Street (Use Permit UP-14-87) and 169 Lake Street (Use Permit UP-2-93), as well as parking located off-site and not within a public right-of-way (100 Annis Road, UP-7-99).

Strict Enforcement Not Required Due to Present/Future Traffic Volume/Circulation— Based upon the Planning Commission's study of parking-per-floor-area standards, the Commission has found that a dwelling unit containing 1,801-2,700 sq. ft. in floor area (excluding 400 sq. ft. of garage space) would be expected to generate demand for 3 parking spaces, while a 2,701-3,600 sq. ft. unit (excluding 400 sq. ft. of garage) would be expected to generate demand for 4 parking spaces. In this case, 4 parking spaces are proposed for each of the houses, which would contain approximately 3,008 sq. ft. (462 Kings Road) and 2,640 sq. ft. (466 Kings Road) of floor area (excluding 400 sq. ft. of garage space).

The proposed uncovered parking area is angled in such a way that a standard-size car could not turn from Alexander Road into the northwestern pair of spaces, according to the Public Works Department's turning radius standards. Accordingly, staff recommends that the two garages be required to accommodate 2 standard-size parking spaces, so that per BMC Section 17.34.090, the uncovered spaces need only be compact in size.

The Alexander Road easement does not specifically address whether off-street parking is permitted within the easement; although, its 50 ft. width would easily accommodate parking on both sides of a 20 ft. wide street. In the event that one of the other easement beneficiaries were able to successfully argue in court that parking is prohibited within easement, the Use Permit would require that the proposed terraces be converted into parking decks, providing 1 compact space per house. Note that this would be sufficient for the house at 266 Kings Road under the draft parking-per-floor-area standard discussed above, but the house at 262 Kings Road would be short 1 space by 308 sq. ft. of its 441 sq. ft. basement. In such case, the basement could be reconfigured so that the total floor area of the house (as defined by BMC Section 17.02.315.A) would not exceed 2,700 sq. ft. (excluding up to 400 sq. ft. of garage)

No Interference with Traffic or On-Street Parking—The proposal should not result in any parking that would interfere with traffic, since all of the proposed parking will be located outside the 20 ft. width of the Alexander Road easement necessary to accommodate two lanes of traffic. Existing on-street parking on Kings Road, which is not recognized as complying with City standards (BMC Section 12.24.010.B.1), should not be affected by the proposed shared stairway. The bottom of the stairway is proposed at the general location of the existing mailboxes near the entrance to Alexander Road, where on-street parking is not suitable. In lieu of requiring that Kings Road be widened at this time (which might conflict with the future improvement plans for Alexander Road), the City Engineer will accept a cash bond for the applicant's fair share of the updated total cost of the previously approved street improvements plus approximately 20% for contingencies.

**Driveway Variance:** The shared driveway requires a Variance to BMC Section 17.02.220's restriction that driveways provide access only to a single site. In order to grant a Variance, the Planning Commission must find that, because of special circumstances applicable to the property, such as its size, shape, topography, location or surroundings, the strict application of the Zoning Ordinance would deprive the property of privileges enjoyed by other properties in the vicinity and same zoning district. In addition, any approval must be subject to such conditions as necessary to assure that the variance will not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and same zoning district.

Special Circumstances Applicable to Subject Property—One of the properties' special circumstances is their steep slope, an average of 52.5% for 462 Kings Road and 45% for 466 Kings Road. For the front 20 ft. of these properties, within which garages would be permitted per BMC Section 17.32.070.A.3.a, the average slopes are 75% and 110%, respectively. Thus, a

significant amount of excavation would be necessary to try to provide individual driveways directly from Kings Road for each property.

Another special circumstance is that the rear quarter to half of the two sites is already encumbered by an easement (Alexander Road) that provides existing access to the properties.

Privileges Enjoyed by Others in the Vicinity Deprived to Subject Property—Alexander Road currently provides shared access to houses at 450, 468, 478 & 490 Kings Road and 88 Beatrice Road. There is a similar shared driveway at 1030, 1050 & 1056 Humboldt Road, and the Planning Commission approved Variance V-12-05 to allow a new shared driveway at 800, 808 & 812-818 Sierra Point Road.

Conditions Necessary to Prevent a Grant of Special Privilege—Per BMC Section 17.34.120, the City Engineer will approve use of the shared driveway for now, subject to a condition requiring that the applicant post a cash bond for the applicant's fair share of the updated total cost of the previously approved street improvements plus approximately 20% for contingencies.

**Height Variance:** The height limit for the subject properties is 30 ft. per BMC Section 17.08.040.G.1.b, except within the front 15 ft. of the property, where the height limit is 20 ft. from finish grade per BMC Section 17.08.040.G.2. The front of the properties is considered to be Kings Road, since that is from where emergency access to the houses is proposed to be taken.

Per BMC Section 17.02.400.A, building height is measured as the difference in elevation ("vertical distance") between the midpoint ("average height") of the highest gable of a pitched roof and the lowest finished grade within 5 ft. of the building. This section goes on to say, "When the finished grade results from fill, the reference datum shall be the lowest point of elevation of the natural grade prior to the placement of the fill. In the case of a stepped or terraced building, each segment of the building shall be separately measured and the height of the building shall be the maximum height of the highest segment."

The proposed roofs slope diagonally in a single plane, reflecting the front-to-rear rise of the hillside as well as the west-to-east climb of Kings Road below and Alexander Road behind the houses. Because BMC Section 17.02.400 refers to the "average height of the highest gable," the midpoint is measured at the wall ("gable"), rather than some point halfway up the diagonally sloping roof. Although each roof runs in a single plane, the height of each building has been measured in segments reflecting the changes in the exterior walls.

The proposed height of the house at 462 Kings Road is 33.25 ft., measured as the difference in elevation between the midpoint of the pitch of the kitchen wall and lowest existing grade along the adjacent portion of the east property line (if measured from the proposed finished grade between the two houses, it would be only 27 ft.). The main front wall of the house at 462 Kings Road is 23-24 ft. tall. When measured from grade below, it complies with the 30 ft. height limit,

but the portion that is less than 15 ft. from the front property line is subject to a 20 ft. height limit, which it exceeds by 9.25 ft. Please refer to the attached "House 2 East Elevation Annotated by Staff."

The proposed height of the east side of the house at 466 Kings Road is 34 ft., the height of the loft is 38 ft., and the height of the storage/mechanical room and kitchen is 45 ft., as measured per BMC Section 17.02.400. The top of the east wall, though, is proposed to be no more than 30 ft. above finished grade along most of its length, except where the hillside drops steeply at the east corner of the site. The height of the west side of the house is 33.5-34 ft. relative to existing grade; although, it would be only 25-30 ft. relative to finished grade. The main front wall of the house at 466 Kings Road is 25.25-26.5 ft. tall, but if measured from grade at the steeper end, its height is 31 ft. Its entire 25 ft. length is 10 ft. from the front property line. Although the top of the balcony at the east corner of the house is only 18.75 ft. tall measured from the base of the house, its height measured from the lowest grade 5 ft. in front of the corner of the house is 43.75 ft., due to the dropoff at this corner of the property.

Special Circumstances Applicable to Subject Property—As noted above, the average slopes of these properties are very steep. Just within the front 15 ft. of the properties, grade elevations rise approximately 13 ft. (87% slope). The slopes vary greatly over the rest of the sites, particularly within the proposed building footprints due to the grading and retaining walls for the house that was formerly at this location, complicating the measurement of building height (see attached Survey Annotated by Staff). Another unusual aspect is that the properties are located on a knoll, so that the slopes fall off toward the exterior sides of the sites. At the same time, the front property line curves in the opposite direction, so there is a greater drop at the outer front corners of the property (see attached Plot Plan Annotated by Staff). Yet another special circumstance is that the rear quarter to half of the two sites is already encumbered by the Alexander Road easement, shifting the potential development envelope forward, toward the steeper front of the property (see attached Survey Annotated by Staff).

Privileges Enjoyed by Others in the Vicinity Deprived to Subject Property—Without the Variance to the 30 ft. height limit, the roofline of each house would have to be broken into stepped segments. The roofs of the loft and study would have to be flattened or otherwise reduced in height. The entry levels would have to be pulled back from the front, resulting in less floor area, unless the basement levels could be excavated to make up the difference.

The Planning Commission approved Variances V-1-05 & V-4-07 for a new house with a height of 39.33-43.5 ft. on a 56% slope at 852 Humboldt Road. In that case, a consistent architectural design was cited as one of the privileges that would be lost with denial of the Variance. In this case, the coordinated rooflines reflecting the topography of the hillside, as well as the grades of the roadways above and below, could be considered a consistent architectural design feature.

Without the Variance to the 20 ft. height limit, the front of the house at 462 Kings Road would have to be lowered 9.25 ft., or the second floor deck would have to be extended 24 ft. farther across the front of the house, or the house would have to be set back 3 to 4 ft. more so as to be at least 15 ft. from the front property line, outside the area subject to the lower height limit. The first two options would essentially eliminate a portion of the second floor, even though a 20 ft. height limit on a less steep site would accommodate 2 stories. Pulling the house back would reduce its footprint and floor area, which are already well below the maximums allowed. The house at 466 Kings Road would have to be modified even further to comply.

The Planning Commission has approved Variances to the 20 ft. height limit within 15 ft. of the front of the property at 15 Glen Parkway & 720 San Bruno Avenue (V-3-05), 1 Mariposa Street (V-8-05), 296 Humboldt Road (V-10-05) and 90 San Benito Road (V-7-06 & V-2-10), as well as at 852 Humboldt Road.

Conditions Necessary to Prevent a Grant of Special Privilege—The applicant has presented alternative plans showing new retaining walls built to raise the grade at the front of the properties to no less than 30 ft. below the height of the front of the buildings. As is apparent from the submitted computerized renderings, the retaining walls would not improve the appearance of the project, nor would they technically bring the project into compliance with the height limit (which would be measured from “the lowest point of elevation of the natural grade prior to the placement of the fill” per BMC Section 17.02.400.A). Without the additional retaining walls, the proposal would still result in finished grades that would generally be no more than 30 ft. below the top of the adjoining walls of the houses. The taller portions of the houses (the study at 462 Kings Road and the loft and mechanical/storage room at 466 Kings Road) are situated farther away from the neighboring properties, so as to reduce the impact of their greater heights.

As a condition of approval for the Variance to the 20 ft. height limit within 15 ft. of the front property line, staff recommends that the overhanging portion of the upper floor decks on both houses be reduced to a depth of no more than 2 ft. to provide required articulation (per BMC Sections 17.02.050 & 17.06.040.H.1) without overwhelming the streetscape below.

**Setback Exception Modification:** The Planning Commission may modify the exception requiring that stairs within the side setbacks be located on grade per BMC Section 17.32.070.A.1.e, if it makes the following findings:

- i. The modification is necessary in order to gain access to the property or to the dwelling unit on the property.
- ii. The modification is necessary because of unusual or special circumstances relating to the configuration of the property.
- iii. The visual impacts of the modification have been minimized.

As explained above, Alexander Road does not currently meet the standards for emergency access, and so a shared stairway from Kings Road to the rear of the two houses is proposed to serve that purpose. Due to the generally steep slope and changes in topography, portions of the stairway on site will be elevated above grade by as much as 8 ft. (see attached "House 1 West Elevation Annotated by Staff"). Because the stairway will occupy the space between the two houses, its visibility will be reduced such that it will not be apparent that the stairway is not actually located on grade. Non-combustible construction will be required.

It should be noted that because the shared stairway is being accepted by the North County Fire Authority as adequate for public safety access, Alexander Road is not being required to be improved to public street standards at this time. Instead, the City Engineer will accept a cash bond for the applicant's fair share of the updated total cost of the previously approved street improvements plus approximately 20% for contingencies.

Attachments:

- Draft Resolution with Findings and Conditions of Approval
- Project Description
- House 2 East Elevation Annotated by Staff (Detail)
- Survey Annotated by Staff (Detail)
- Plot Plan Annotated by Staff (Detail)
- House 1 West Elevation Annotated by Staff (Detail)
- Memorandum from Director of Public Works/City Engineer
- Applicants' Supporting Statements
- Applicants' Vicinity Map, Survey, Plot Plans, Floor Plans, Elevations & Cross Sections
- Applicant's Photos & Computer Renderings
- Applicant's Landscape Plans



draft  
RESOLUTION UP-14-11/V-3-11/SB-1-11

A RESOLUTION OF THE PLANNING COMMISSION OF BRISBANE  
CONDITIONALLY APPROVING USE PERMIT UP-14-11, VARIANCE V-3-11 AND  
SETBACK EXCEPTION MODIFICATION SB-1-11  
AT 462 KINGS ROAD AND 466 KINGS ROAD

WHEREAS, Peter Anderson, the applicant, applied to the City of Brisbane for Use Permit approval to recognize 4 parking spaces within the "Alexander Road" easement at 462 Kings Road, including 2 off-site for 466 Kings Road, Variances for a shared driveway and buildings in excess of the 30 ft. height limit and 20 ft. height limit within the front 15 ft. of the property, and Setback Exception Modification to allow an elevated stairway within the adjoining side setbacks of the two houses, such applications being identified as Use Permit UP-14-11, Variance V-3-11 and Setback Exception Modification SB-1-11; and

WHEREAS, on August 25, 2011, the Planning Commission conducted a hearing of the applications, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the agenda report relating to said applications, the plans and photographs, the written and oral evidence presented to the Planning Commission in support of and in opposition to the applications; and

WHEREAS, the Planning Commission finds that the proposed projects are categorically exempt from the provisions of the California Environmental Quality Act; and

WHEREAS, the Planning Commission of the City of Brisbane hereby makes the findings attached herein as Exhibit A in connection with the Use Permit, Variance and Setback Exception Modification.

NOW THEREFORE, based upon the findings set forth hereinabove, the Planning Commission of the City of Brisbane, at its meeting of August 25, 2011, did resolve as follows:

Use Permit Application UP-14-11, Variance Application V-3-11 and Setback Exception Modification Application SB-1-11 are approved per the conditions of approval attached herein as Exhibit A.

ADOPTED this twenty-fifth day of August, 2011, by the following vote:

AYES:  
NOES:  
ABSENT:

JAMEEL MUNIR  
Chairman

ATTEST:

JOHN SWIECKI, Community Development Director

## EXHIBIT A

**Action Taken:** Conditionally approve Use Permits UP-14-11, Variance V-3-11 and Setback Exception Modification SB-1-11 per the agenda report with attachments, via adoption of Resolution UP-14-11/V-3-11/SB-1-11.

### Findings:

#### Use Permit

1. Conditional approval of the use permit is consistent with the 1994 General Plan adopted by the City Council on June 21, 1994, specifically General Plan Policy 56 and Programs 22c, 56a and 253a.
2. The establishment, maintenance and operation of the use applied for, under the circumstances, will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in the neighborhood, nor will it be injurious or detrimental to property or improvements in the neighborhood or the general welfare of the City, in that the Planning Commission has found that no deleterious effect will result from accepting parking located off-site within a private roadway easement as proposed, since the option of providing parking on-site outside of the easement remains possible.
3. Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site, given the number of parking spaces that will or could be provided, if necessary, and the size of the houses, subject to conditions of approval.
4. The granting of the use permit will not result in the parking of vehicles on public streets in such a manner as to interfere with the free flow of traffic on the streets or to create or intensify a shortage of on-street parking spaces, given the location of the uncovered parking spaces.

#### Shared Driveway Variance

1. The variance shall be subject to such conditions as will assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located, specifically a condition of approval requiring that the applicant post a cash bond for the applicant's fair share of the updated total cost of Alexander Road improvements plus contingencies..
2. Because of special circumstances applicable to subject property, specifically the steep slopes of the properties adjoining Kings Road and the existing Alexander Road easement providing access to the rear of the properties, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification, namely a shared driveway.

#### Height Variance

1. The variance shall be subject to such conditions as will assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located, specifically the requirement that the amount of overhang above the street be reduced.

H.1.10

2. Because of special circumstances applicable to subject property, specifically the steep, varying slopes of the properties, particularly within 15 ft. of the front property line, and building envelopes constrained by the Alexander Road easement, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification, namely a consistent architectural design utilizing coordinated rooflines reflecting the topography of the hillside, as well as the grades of the roadways above and below, as well as reasonably sized houses otherwise built in conformance with allowed setbacks, lot coverage and floor area limits.

#### **Setback Exception Modification**

1. The modification is necessary in order to gain access to the property or to the dwelling unit on the property, because the proposed stairway will provide emergency access to the two houses in lieu of improving Alexander Road to City standards at the current time.
2. The modification is necessary because of unusual or special circumstances relating to the configuration of the property, specifically its generally steep slope and changes in topography.
3. The visual impacts of the modification have been minimized, because the stairway will be located between the two proposed houses, where it will not be apparent that it is not built on grade.

#### **Conditions of Approval:**

- A. The garages shall be designed to accommodate two standard-size parking spaces (9 ft. by 18 ft. each). The uncovered parking area shall be paved so as to accommodate four compact parking spaces (8 ft. by 16 ft. each) at a minimum. Permeable pavement alternatives to the requirements of Brisbane Municipal Code Section 17.34.070 may be approved by the City Engineer. The parking area shall not conflict with the approved improvement plans for Alexander Road, as determined by the City Engineer.
- B. Prior to issuance of a building permit, an easement shall be recorded on the property at 462 Kings Road assigning a specified pair in-tandem parking spaces on the parking pad for the use of the property at 466 Kings Road. The easement shall also address maintenance responsibilities for the parking pad.
- C. Prior to issuance of a building permit, the applicant shall:
  1. Obtain an updated engineer's construction cost estimate, acceptable to the City Engineer, for the work shown on the Grading and Improvement Plans (or subsequent plans approved by the City Engineer) prepared by Kavanagh Engineering as revised February 16, 2005, Job Number 9749 ("Improvements").
  2. Provide the City a check in the amount of 25% of the construction cost estimate approved by the City Engineer. The City shall hold this dollar amount on deposit until such time as the City determines the Improvements are to be completed, whether that determination is by conditioning another developer to complete the Improvements, or the City elects to complete the Improvements itself.

(continued)

- D. The terraces shall be designed so they can be converted into parking decks, each able to accommodate an 8 ft. by 16 ft. parking space without encroaching into the adjoining 10 ft. sewer easement or the 20 ft. width of Alexander Road necessary for two lanes of traffic. In the event that any legal challenge to the use of the Alexander Road easement for the proposed parking is successful, 1 on-site compact parking space shall be provided for each house outside of the roadway easement, and the floor area, the basement could be reconfigured so that the total floor area (as defined by BMC Section 17.02.315.A) of the house at 462 Kings Road shall be reduced to 2,700 sq. ft. (excluding up to 400 sq. ft. of garage and any portion of the basement with less than 6 ft. of headroom).
- E. The final location and design of the shared exterior stairway shall be subject to the approval of the City Engineer, Building Official and North County Fire Authority. The stairs and landings shall be of non-combustible construction as approved by the Building Official. An Encroachment Permit for the stairs within public right-of-way shall be obtained from the Public Works Department. No portion of the stairway, including the bottom landing, shall be less than 20 ft. from the face of curb on the far side of Kings Road, and it shall be located so as not to impact existing parking. The applicant shall relocate the existing mailboxes to the satisfaction of the US Postal Service. The stairway may be required to be relocated or removed in the future to accommodate future improvements to Alexander Road and/or Kings Road.
- F. Any portion of exterior stairway over the 10 ft. wide sewer easement that runs between the two proposed houses shall be designed to be removable to the satisfaction of the City Engineer, Building Official and North County Fire Authority.
- G. Prior to issuance of a building permit, a cross-access easement and maintenance agreement for the shared exterior stairway shall be recorded. The easement shall give the North County Fire Authority power to enforce that the stairway be maintained clear of obstructions as a "fire lane."
- H. The overhanging portion of the upper floor decks on both houses shall be reduced to a depth of no more than 2 feet.
- The height of any chimneys shall not exceed the minimum required to comply with the California Building Code per Brisbane Municipal Code Section 17.32.060.A.
- I. Exterior building materials shall not be highly reflective, and exterior low-level lighting shall be used to avoid excessive glare as viewed from off-site locations by being directed away from adjacent properties and not upward into the night sky.
- J. The plans submitted for a building permit shall include drainage details as required by the City Engineer, including erosion control measures for the proposed parking area. The property owner shall be responsible for ongoing operation and maintenance of permanent structural stormwater controls.
- K. Prior to issuance of a building permit, detailed landscaping and irrigation plans shall be provided for the uncovered parking area and each house's front setback. Only drought-resistant, native species that do not pose a wildland fire hazard shall be used.

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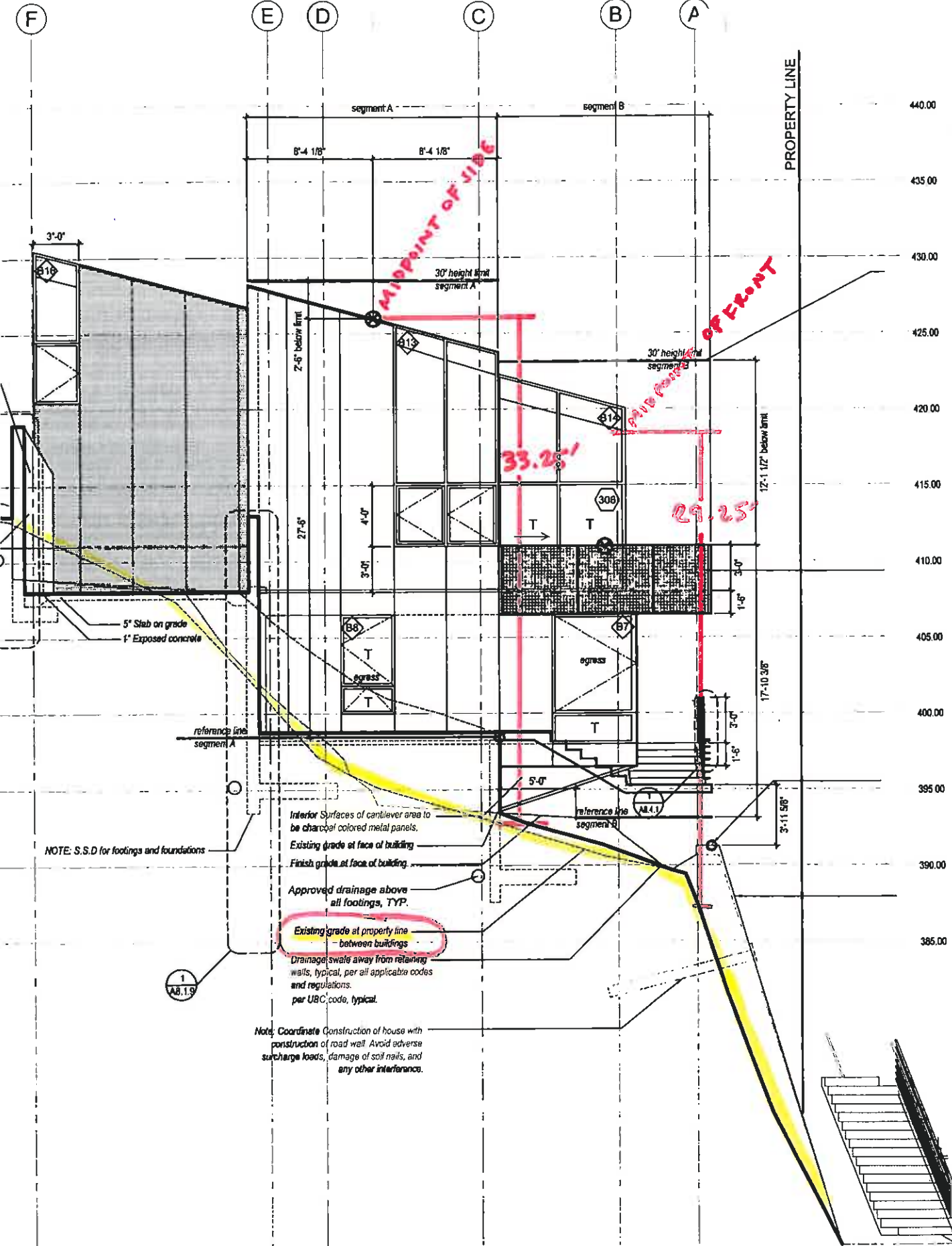
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- L. Prior to issuance of the building permit, the property owners shall enter into standard landscape maintenance agreements with the City.
- M. The permittees agree to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside, modify or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts or determinations taken, done or made prior to the granting of such approval, permit or entitlement.
- N. Minor modifications may be approved by the Planning Director in conformance with all requirements of the Municipal Code.
- O. The required parking spaces shall not be used or converted for any other use that would impair their basic use as storage for motor vehicles per Brisbane Municipal Code Section 17.34.020.A.
- P. The Use Permit, Variance and Setback Exception Modification for each property shall expire 2 years from their effective date if a Building Permit has not yet been issued for its respective house or if a Building Permit has been issued but allowed to lapse.

Project Description

|                            |  |   |                  |
|----------------------------|--|---|------------------|
| General Plan:              | Residential: 2 1/2 - 14 dwelling units per acre  |   |                  |
| Zoning:                    | R-1 Residential District   |   |                  |
| Lot Area--                 |  |   |                  |
| 462 Kings Road:            | 5,624 sq. ft.  |   |                  |
| 466 Kings Road:            | 5,555 sq. ft.  |   |                  |
| Frontage—                  |  |   |                  |
| 462 Kings Road:            | 49.78 ft.  |   |                  |
| 466 Kings Road:            | 49.76 ft.  |   |                  |
| Slope—                     |  |   |                  |
| 462 Kings Road:            | 52.5%  |   |                  |
| 466 Kings Road:            | 45%  |   |                  |
| Lot Coverage--             | <u>Permitted</u>   | <u>Proposed</u>                                   |                  |
| 462 Kings Road:            | 40% (2,250 sq. ft.)  | 25% (1,410+/- sq. ft.)                            |                  |
| 466 Kings Road:            | 40% (2,222 sq. ft.)  | 31% (1,720+/- sq. ft.)                            |                  |
| Floor Area Ratio--         | <u>Permitted</u>   | <u>Proposed</u>                                   |                  |
| 462 Kings Road:            | 0.72 (4,049 sq. ft.)   | 0.60 (3,401 sq. ft. including 393 sq. ft. garage) |                  |
| 466 Kings Road:            | 0.72 (3,999 sq. ft.)   | 0.55 (3,040 sq. ft. including 473 sq. ft. garage) |                  |
| Setbacks--                 | <u>Required</u>  | <u>Proposed</u>                                   |                  |
|                            |  | <u>462 Kings</u>                                  | <u>466 Kings</u> |
| Front*/House:              | 10 ft.   | 11 ft.  | 10 ft.           |
| /Deck:                     | 5 ft.  | 6 ft.   | 5 ft.            |
| NW Side:                   | 5 ft.  | 5 ft.   | 5 ft.            |
| SE Side:                   | 5 ft.  | 5 ft.   | 5 ft.            |
| Rear:                      | 10 ft.   | 49 ft.  | 34 ft.           |
| Height—                    | <u>Maximum</u>   | <u>Proposed</u>                                   |                  |
|                            |  | <u>462 Kings</u>                                  | <u>466 Kings</u> |
| ≤15 Ft. from Front:        | 20 ft.   | 29.25 ft.   | 31+ ft.          |
| >15 Ft. from Front:        | 30 ft.   | 33.25 ft.   | 33.5-45 ft.      |
| Parking--                  |  |   |                  |
| Required:                  | 2 covered spaces plus 2 on/off-street spaces per house   |   |                  |
| Proposed:                  | 2 garage spaces per house plus 2 uncovered off-street spaces per house (alternative: 2 garage spaces plus 1 compact terrace space per house) |   |                  |
| Front Setback Landscaping— | <u>Required</u>  | <u>Proposed</u>                                   |                  |
| 462 Kings Road:            | 15% (76 sq. ft.)   | 20% (100+ sq. ft.)                                |                  |
| 466 Kings Road:            | 15% (76 sq. ft.)   | 28% (140+ sq. ft.)                                |                  |

\*Given that emergency access is via Kings Road, it is considered the front of the sites.



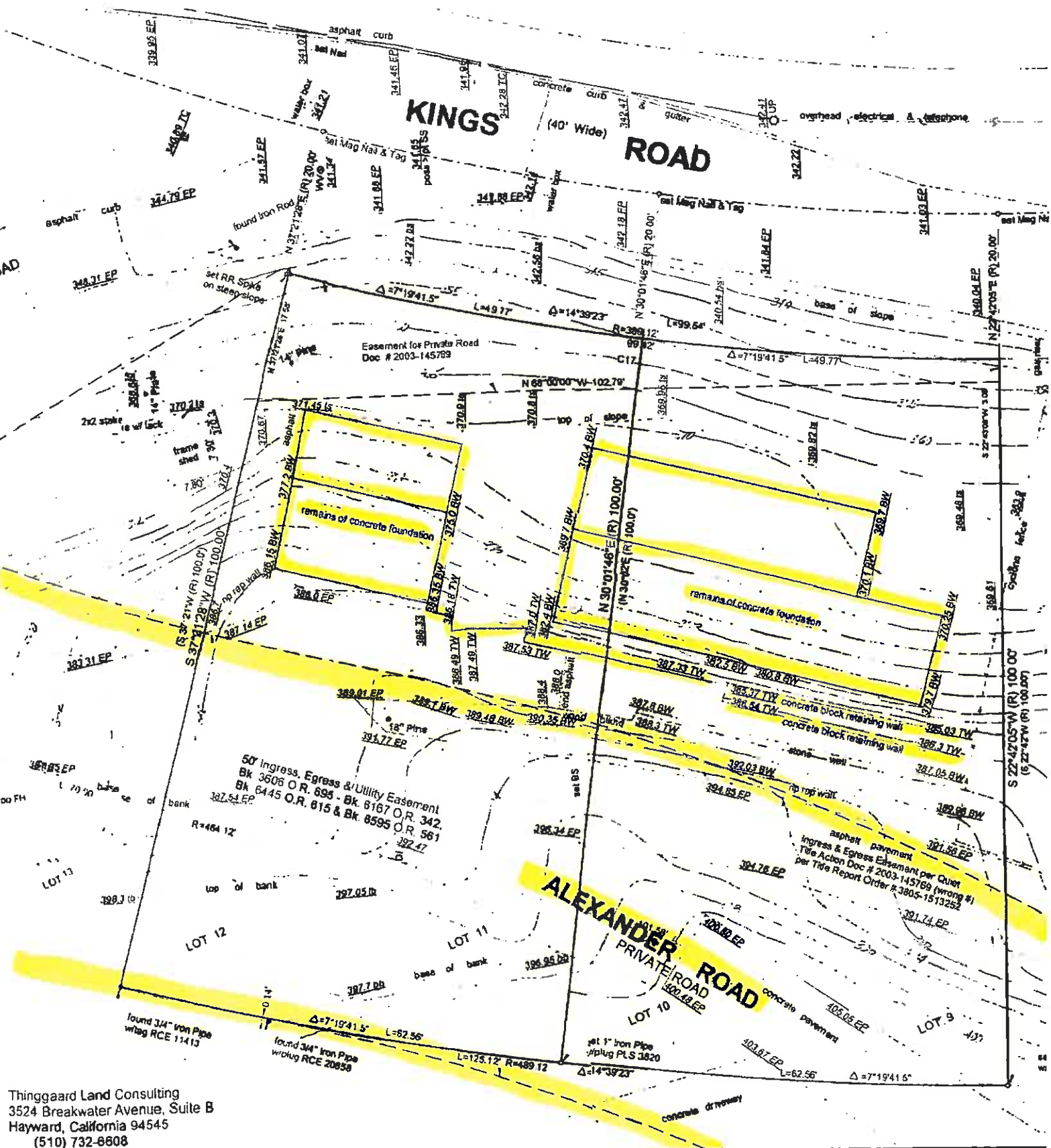
Annotated by Staff

- NOTE: S.S.D for footings and foundations
- Interior Surfaces of cantilever area to be charcoal colored metal panels.
- Existing grade at face of building
- Finish grade at face of building
- Approved drainage above all footings, TYP.
- Existing grade at property line between buildings
- Drainage swale away from retaining walls, typical, per all applicable codes and regulations, per UBC code, typical.

Note: Coordinate Construction of house with construction of road wall. Avoid adverse surcharge loads, damage of soil nails, and any other interference.

HOUSE 2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"

H-1.15



Thinggaard Land Consulting  
 3524 Breakwater Avenue, Suite B  
 Hayward, California 94545  
 (510) 732-8808

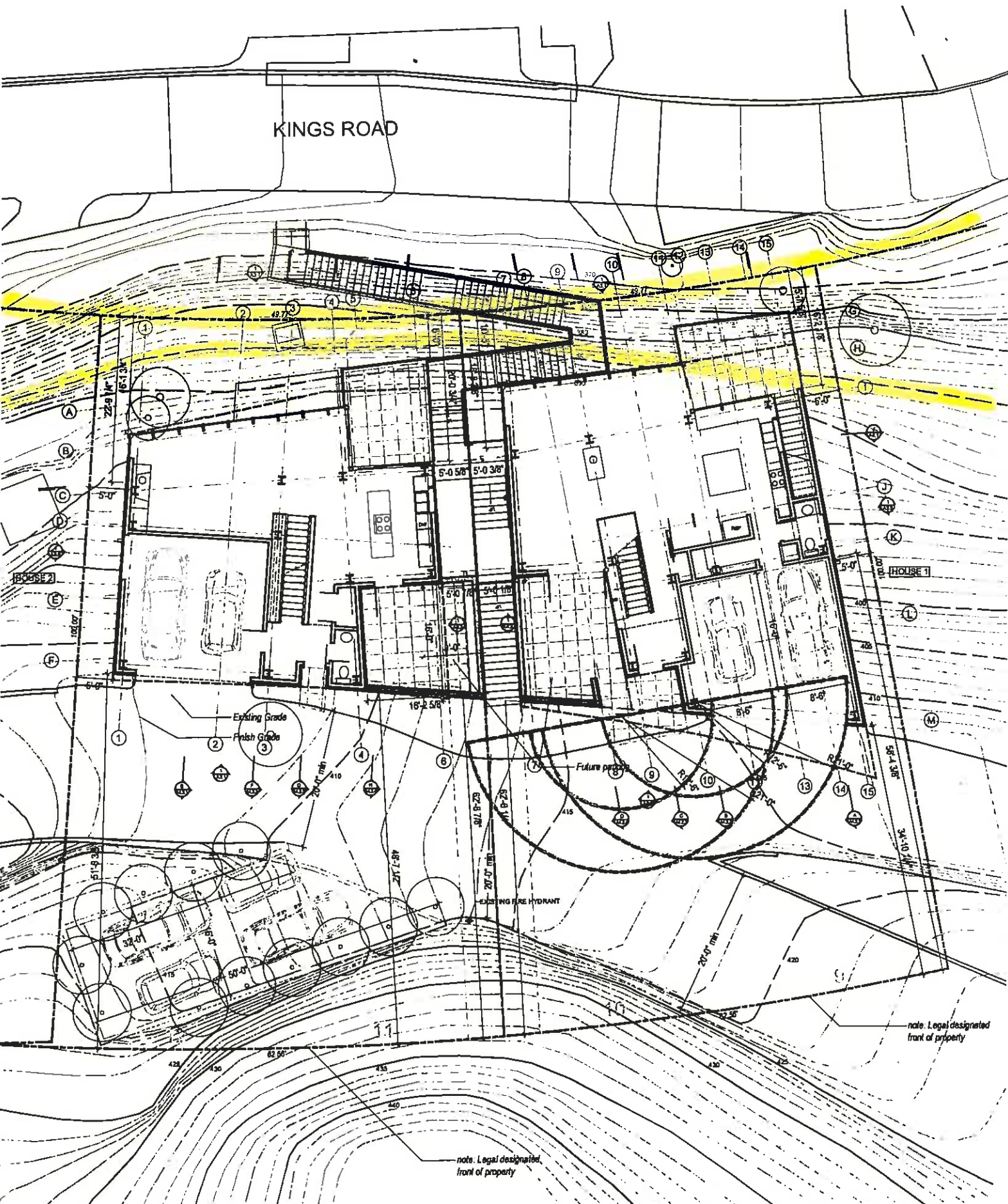
Annotated by Staff

SITE SURVEY  
 SCALE: 1/8" = 1'-0"

H.I.16



KINGS ROAD



note: Legal designated front of property

note: Legal designated front of property

Annotated by Staff

H-1.17

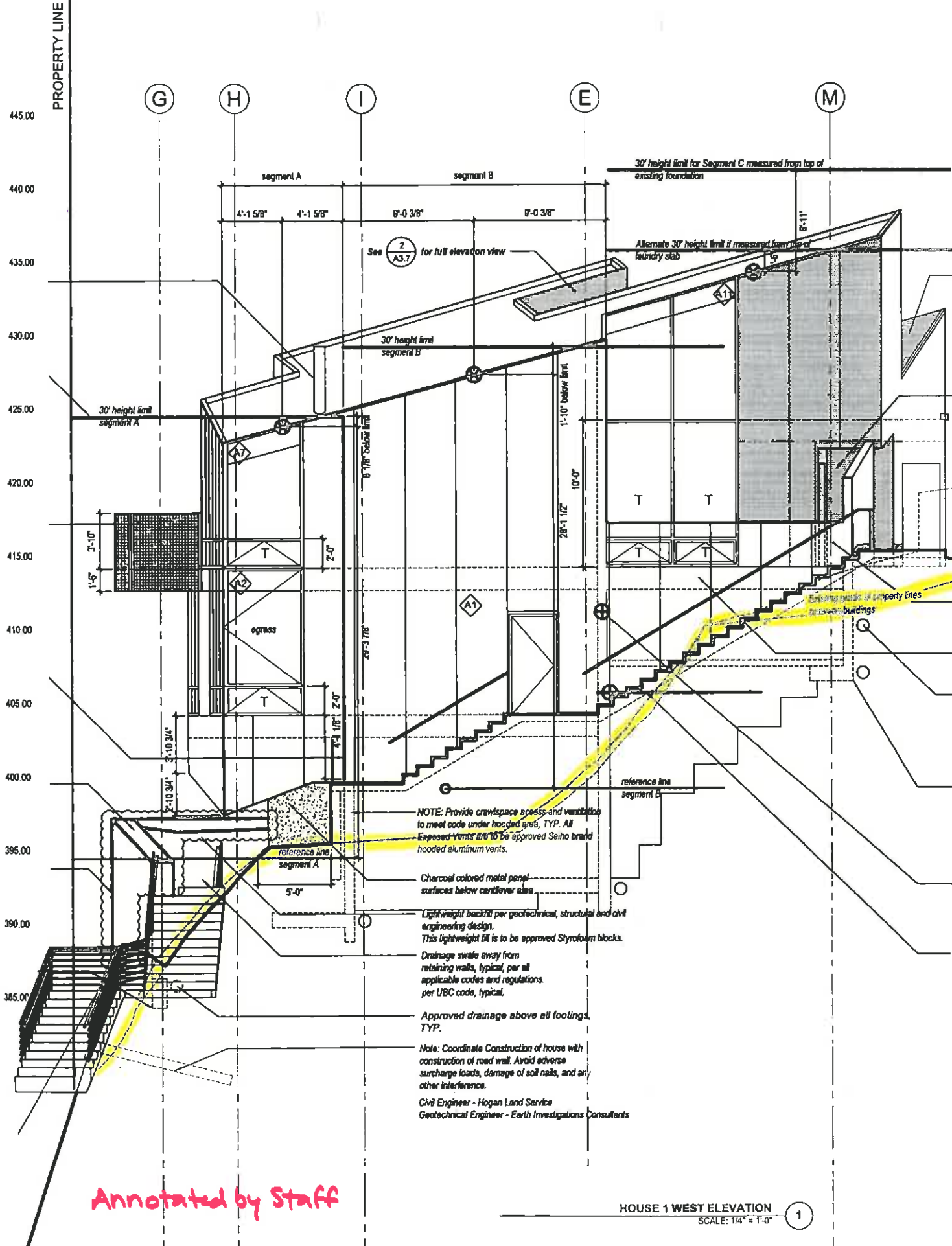
PROPERTY LINE  
 SETBACK LINE  
 5' TOPOGRAPHY LINE  
 1' TOPOGRAPHY LINE



PLOT PLAN  
 SCALE: 1/8" = 1'-0"

1





Annotated by Staff

H.1.18

HOUSE 1 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

NOTE: Provide crawlspace access and ventilation to meet code under hooded vents, TYP. All Exposed Vents are to be approved Seiko brand hooded aluminum vents.

Charcoal colored metal panel surfaces below cantilever areas

Lightweight backfill per geotechnical, structural and civil engineering design. This lightweight fill is to be approved Styrofoam blocks.

Drainage swale away from retaining walls, typical, per all applicable codes and regulations per UBC code, typical.

Approved drainage above all footings, TYP.

Note: Coordinate Construction of house with construction of road wall. Avoid adverse surcharge loads, damage of soil nails, and any other interference.

Civil Engineer - Hogan Land Service  
Geotechnical Engineer - Earth Investigations Consultants



## CITY OF BRISBANE

Department of Public Works - 50 Park Place  
Brisbane, California 94005-1310  
(415) 508-2130  
Fax (415) 467-5547

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### MEMORANDUM

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**To:** Tim Tune, Senior Planner  
**From:** Randy Breault, Director of Public Works/City Engineer  
**Subject:** UP-14-11, V-3-11 and SB-1-11 (462 & 466 Kings Road)  
**Date:** August 15, 2011  
**cc:** John Swiecki, Community Development Director

---

Proposed Conditions of Approval C.1 and C.2 were generated from the relaxation of immediate imposition of the requirements of BMC §12.24.010.B.1 (e.g., the requirement to widen Kings Road along the entire property frontage to 28') and BMC §17.34.120 (e.g., the requirement to grade Alexander Road so that its slope does not exceed 20%), both items falling under the City Engineer's administrative authority once the requirements of BMC §15.08.140 are triggered.

The conditions were based on careful consideration of the proposed development, its impact on adjoining properties, and after consultation with the Planning Department and Fire Marshall. If the conditions do not remain in place as drafted, I will have to reevaluate the project to determine if the immediate imposition of BMC §12.24.010.B.1 and §17.34.120 will be required before the final plans are approved.

H.1.20

**SUPPORTING STATEMENTS**

**FINDINGS REQUIRED TO GRANT A VARIANCE**

Brisbane Municipal Code Section 17.46.010

*Applications for variances from the strict application of the terms of this title may be made and variances granted when the following circumstances are found to apply:*

*A. That any variance granted shall be subject to such conditions as will assure that the adjustment hereby authorized shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located.*

*B. That because of special circumstances applicable to subject property, including size, shape, topography, location or surroundings, the strict application of this title is found to deprive subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification.*

What special circumstances, such as size, shape or topography of the property, or its location or surroundings, apply to your site?

The subject properties are on very steep slopes, and have very small buildable areas due to the road easement across the upslope side of the property (rear yard).

---

How do these special circumstances impact your site when the Zoning Ordinance is applied to the site?

Due to the steep slope, the height limits cannot physically be met by any reasonable house form on this property without the construction of large, unsightly and expensive retaining walls that will diminish the natural vegetation and topography of the community.

---

What privileges enjoyed by other properties in the vicinity and same zoning district would you be deprived of when the Zoning Ordinance is applied to your site, given its special circumstances?

Adjacent homes and typical hillside homes in many surrounding areas of the city have this same condition of high downslope walls and heights in excess of the current rules. The proposed variance will allow the subject homes to conform to the neighborhood pattern.

---

What conditions of approval could be attached to the variance to assure that you comply with the intent of the Zoning Ordinance and other applicable regulations?

Occupancy permit could be conditioned on completion of the project to meet all construction of the project to meet all required screening vegetation.

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**SUPPORTING STATEMENTS**

**FINDINGS REQUIRED TO GRANT A SETBACK EXCEPTION MODIFICATION**

Brisbane Municipal Code Section 17.32.070.A.1.(c.) & (e.): Decks, balconies, stairs, ramps, landings.

- (1) The modification is necessary in order to gain access to the property or to the dwelling unit on the property.
- (2) The modification is necessary because of unusual or special circumstances relating to the configuration of the property.
- (3) The visual impacts of the modification have been minimized.

How is the proposed projection from a building at this specific location necessary in order to in order to gain access to your property or to the dwelling unit on the property?  
The requested stairway is required by the fire department. The required 5' width is the wider than a standard width stair to allow the required width for the fire fighter equipment. The fire stair is shared by the two houses and is situated between the two houses that the stair will service. This stair will not affect or be visible from any other propperties

What unusual or special circumstances relating to your property make it necessary for you to install this projection from a building at this specific location?  
The steep slope requires additional means of fire access in order for the fire department to reach all sides of the building. The stair access and 5' width is required by the Fire Marshall.

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How will the visual impacts of the proposed projection from a building (in terms of size, height, location, color, materials, landscaping, etc.) be minimized?  
The stair is located between the two houses who will share its use. These houses block the view of the stair from any other property. In addition, there is extensive tree and ground plant screening of this area from King's Road and there is a landscape fence screening from the property above. The stair is designed with a landing offset that allows substantial vegetation on both properties along the stair, so that the stair is further obscured from external view, it is shaded from sun heating, and there is privacy screening between the two houses.

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|   |             |        |
|---|-------------|--------|
| 3 | RESUBMIT    | 03/01A |
| 2 | RESUBMIT    | 03/01A |
| 1 | PERMIT      | 02/08A |
| # | ISSUE/ REV. | DAT    |



VICINITY MAP

1



SAN FRANCISCO: 90 Tehama Street, San Francisco, CA 94105  
 TEL: 415.243.8500 FAX: 415.520.8522  
 asa@andersonanderson.com  
 www.andersonanderson.com



**PROJECT:**  
**ROY**  
**RESIDENCES**

San Bruno House 1  
 488 King's Road  
 Brisbane, CA  
 APN# 007-443-120

San Bruno House 2  
 482 King's Road  
 Brisbane, CA  
 APN# 007-443-110

DATE  
 2/1/2007

SCALE  
 1/8" = 1'-0"

TYPE  
 AERIAL  
 PHOTOS

**A-0.2**



AERIAL PHOTO

2



H.1.23

# Thingard Land Consulting

3524 Breakwater Avenue, Suite B  
Hayward, California 94545  
(510) 732-8008

ROY DITTFELD,  
SCHRAGA  
RESIDENCES

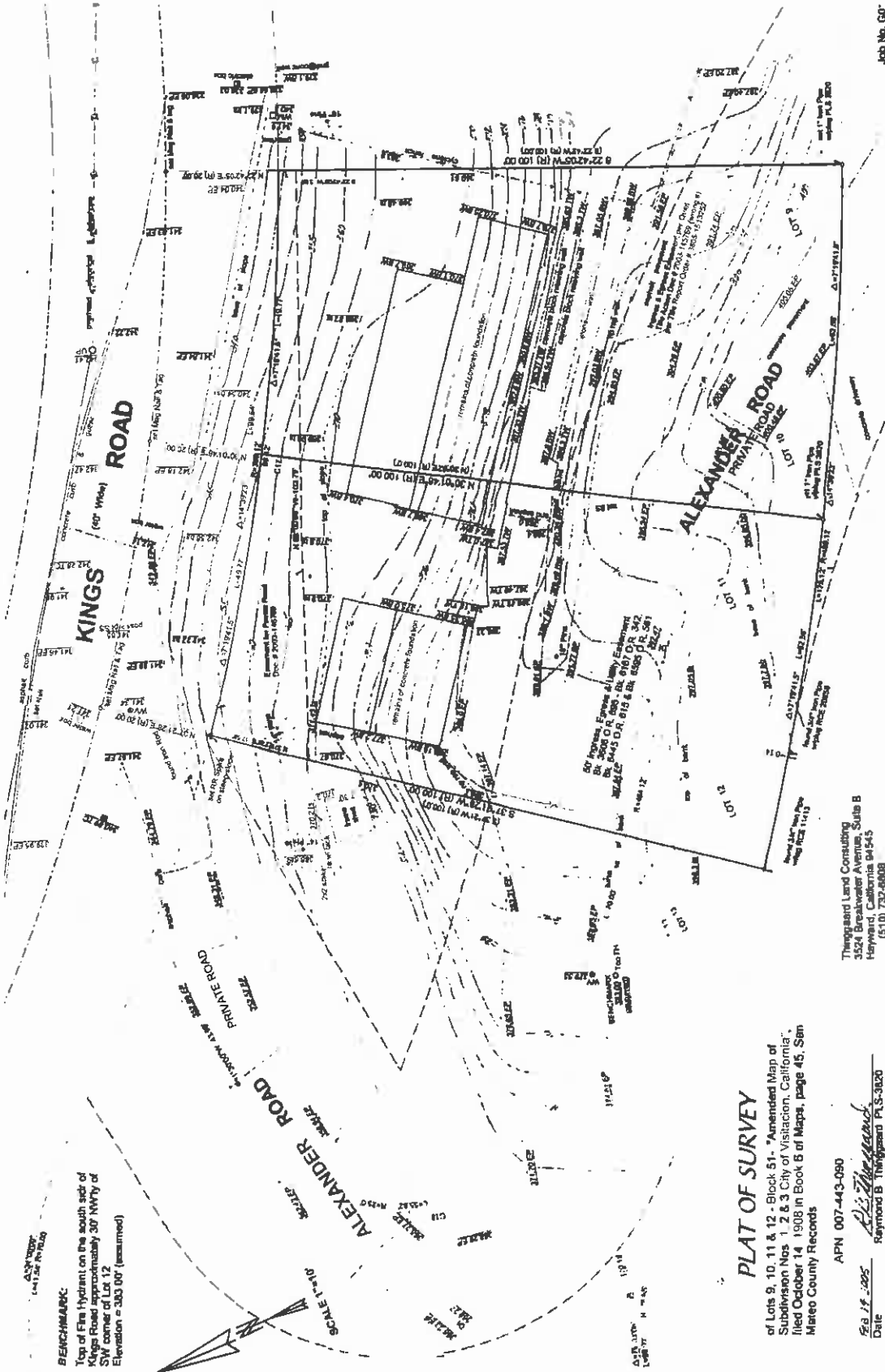
55 1 Upper House  
448 Long Island  
APN# 007-443-120  
55 2 Double House  
443 Long Island  
Breakwater CA  
APN# 007-443-110

22/27/2007

1/8" = 1'-0"

SITE SURVEY

SU-1.0



Job No. 607

SITE SURVEY  
SCALE 1/8" = 1'-0"

Thingard Land Consulting  
3524 Breakwater Avenue, Suite B  
Hayward, California 94545  
(510) 732-8008

## PLAT OF SURVEY

of Lots 9, 10, 11 & 12 - Block 51 - "Amended Map of  
Subdivision Nos. 1, 2 & 3 City of Visitation, California,"  
filed October 14, 1908 in Book B of Maps, page 45, San  
Mateo County Records

APN 007-443-090

Fig. 19, 2005  
Date: *Raymond B. Thingard*  
Raymond B. Thingard PLS-3820

H.1.24

|   |        |      |
|---|--------|------|
| 3 | PERMIT | DATE |
| 2 | PERMIT | DATE |
| 1 | PERMIT | DATE |
| 0 | PERMIT | DATE |

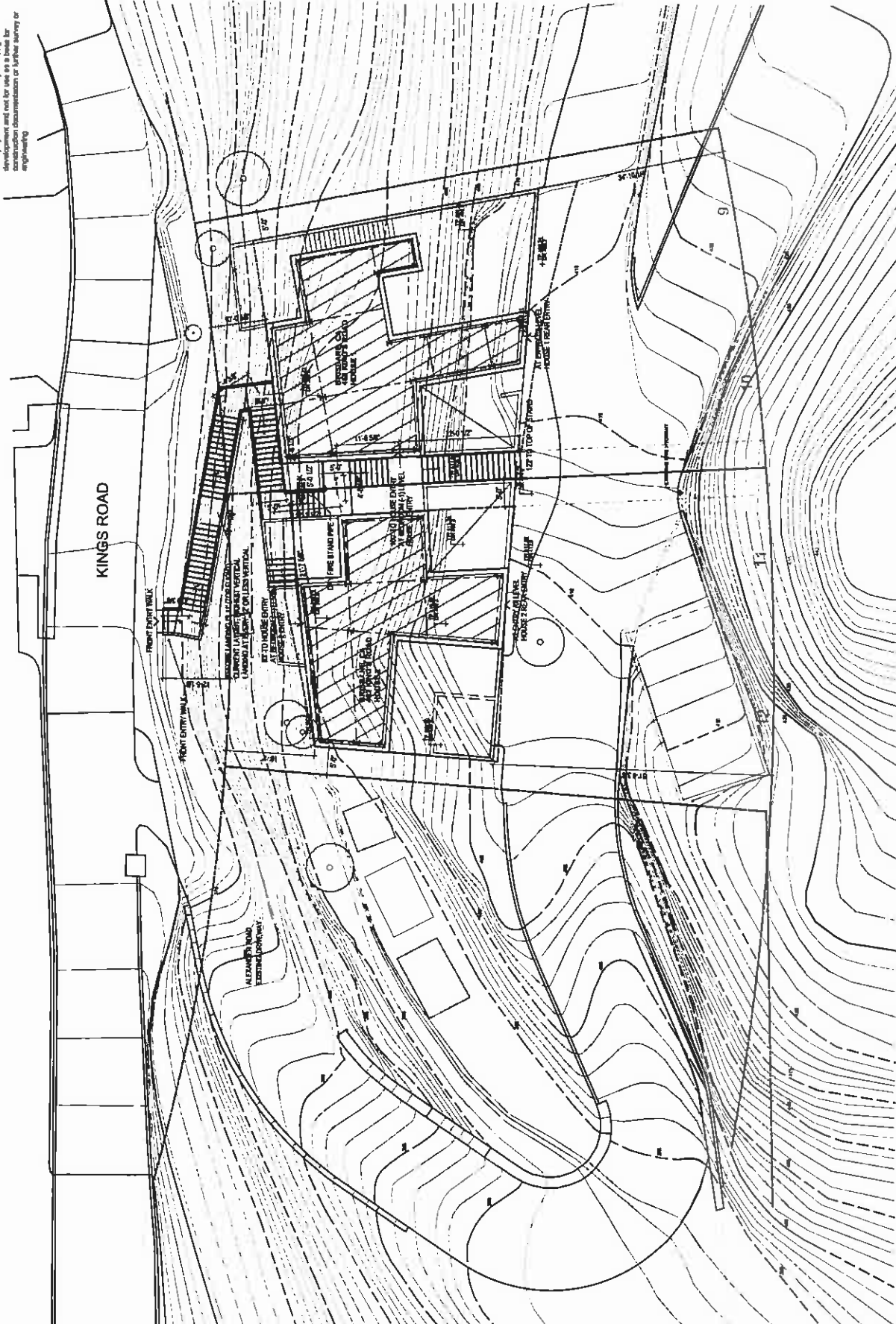
ANDERSON ARCHITECTURE  
 540 TOWERS DRIVE, SAN FRANCISCO, CA 94105  
 TEL: 415.243.8800 FAX: 415.233.8825  
 WWW.ANDERSONARCHITECT.COM

ROY RESIDENCES  
 San Bruno House 1  
 444 King's Road  
 San Bruno, CA 94066  
 APN# 027-443-120

San Bruno House 2  
 444 King's Road  
 San Bruno, CA 94066  
 APN# 027-443-110

6/27/2011  
 1/8" = 1'-0"  
 PLOT PLAN  
 A-1.1a

NOTE: This is a technical drawing as a professional surveyor for others. This is only for design purposes and does not constitute a final construction document or further survey or engineering.

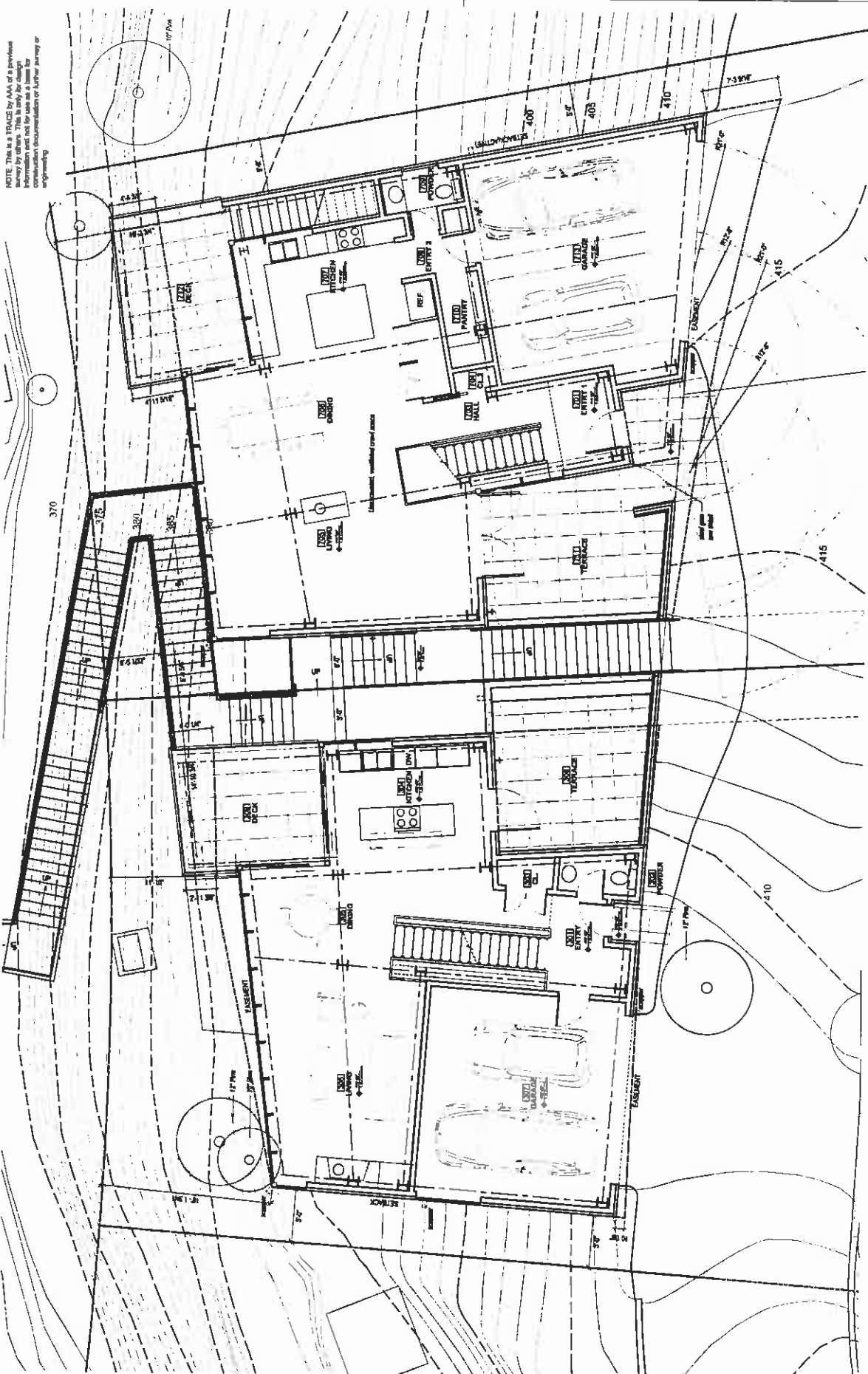


1  
 NORTH  
 PLOT PLAN  
 SCALE: 1/8" = 1'-0"

A-1.25



NOTE THIS IS A TRACE BY AAA of a previous survey by others. This is only for design information and not for use as a basis for construction or future survey or engineering.



PROPERTY LINE  
 SETBACK LINE  
 UTILITY LINE  
 TYPICALLY LINE

SITE PLAN  
 SCALE 1/8" = 1'-0"  
 NORTH

| NO. | REVISION    | DATE     |
|-----|-------------|----------|
| 1   | PRELIMINARY | 02/15/11 |
| 2   | REVISION    | 02/15/11 |
| 3   | REVISION    | 02/15/11 |

**ANDERSON ARCHITECTURE**  
 SAN FRANCISCO 20 TOWNSEND AVENUE, SAN FRANCISCO, CA 94105  
 TEL: 415 243 8000 FAX: 415 250 8522  
 WWW.ANDERSONARCHITECTURE.COM

**ROY RESIDENCES**  
 San Bruno House 1  
 448 Kings Road  
 San Bruno, CA 94066  
 APN# 001-443-100

San Bruno House 2  
 448 Kings Road  
 San Bruno, CA 94066  
 APN# 001-443-110

6/27/2011  
 1/8" = 1'-0"

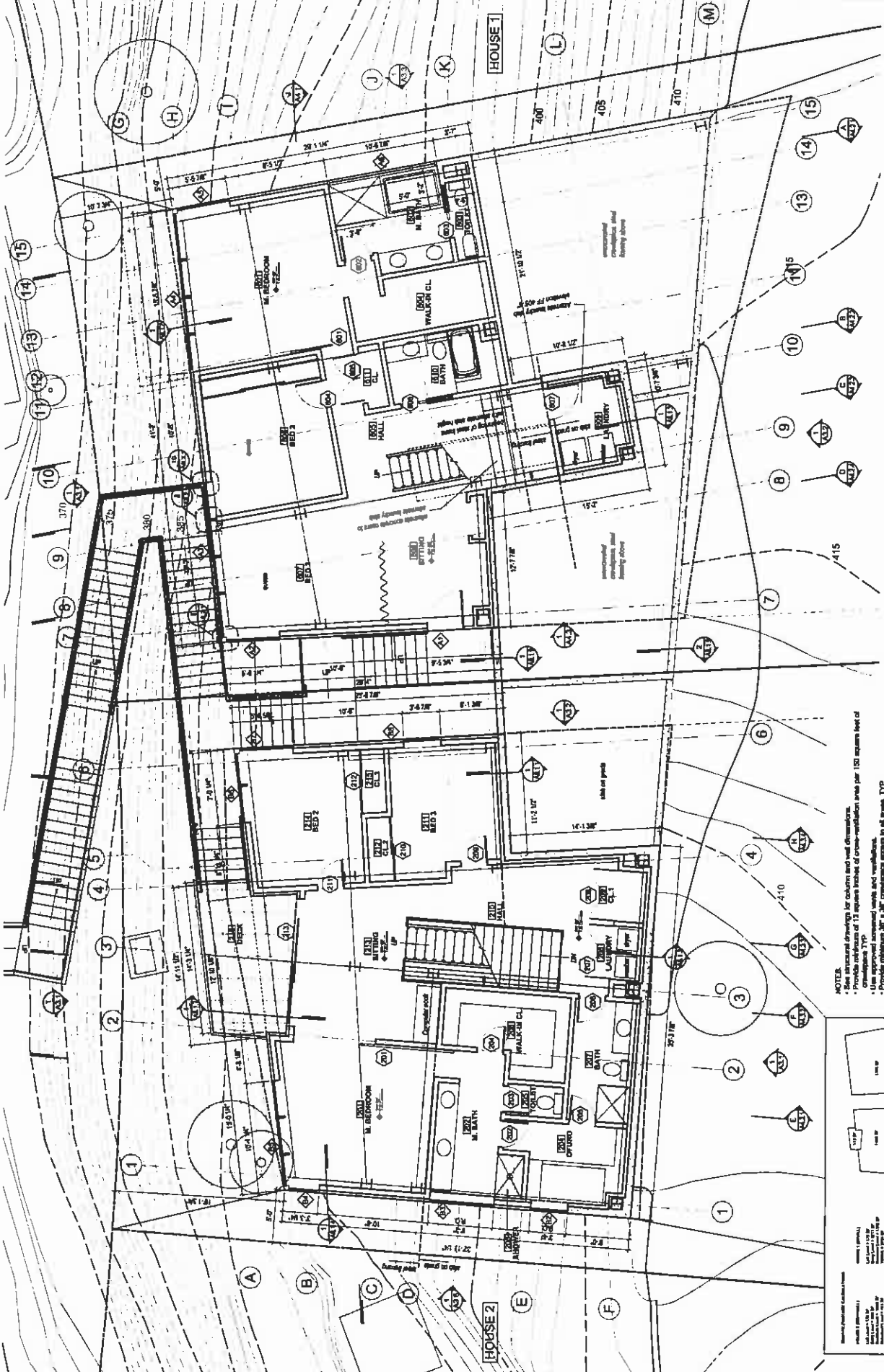
H-1.26



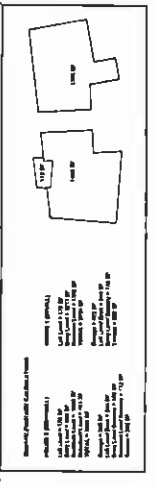
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| 3 | REVISION   | DATE |
| 2 | REVISION   | DATE |
| 1 | PERMIT     | DATE |
| 0 | ISSUE/REV. | DATE |

ROY RESIDENCES  
 San Bruno House 1  
 488 King's Road  
 Brisbane, CA  
 APR 07/04-10  
 San Bruno House 2  
 483 King's Road  
 Brisbane, CA  
 APR 07/04-10

01272011  
 1/4" = 1'-0"  
 BEDROOM(-1)  
 LEVEL PLAN  
 A-2.2



- NOTE:**
- See structural drawings for column and wall dimensions.
  - Provide a minimum of 15 square inches of cross-ventilation area per 150 square feet of finished area.
  - Use approved mechanical vents and ventilators.
  - Provide minimum 20" x 20" egress doors to all rooms.
  - Use approved fire-rated doors and frames.
  - Provide egress doors prior to construction.
  - Provide egress doors prior to construction.
  - Weatherstripping shall be provided in the egress doors.
  - Weatherstripping shall be provided in the egress doors.



PROPERTY LINE  
 4" PANELS  
 CONCRETE WALLS  
 4" PANELS  
 BEDROOM(-1) LEVEL PLAN  
 SCALE: 1/4" = 1'-0"  
 NORTH

H.1.28

|   |          |      |
|---|----------|------|
| 3 | REVISION | DATE |
| 2 | REVISION | DATE |
| 1 | REVISION | DATE |
| 0 | ISSUE    | DATE |

ANDERSON ARCHITECTURE  
 SAN FRANCISCO 90 TRINITY STREET, SAN FRANCISCO, CA 94105  
 TEL: 415.243.9500 FAX: 415.252.9522  
 www.andersonarchitecture.com

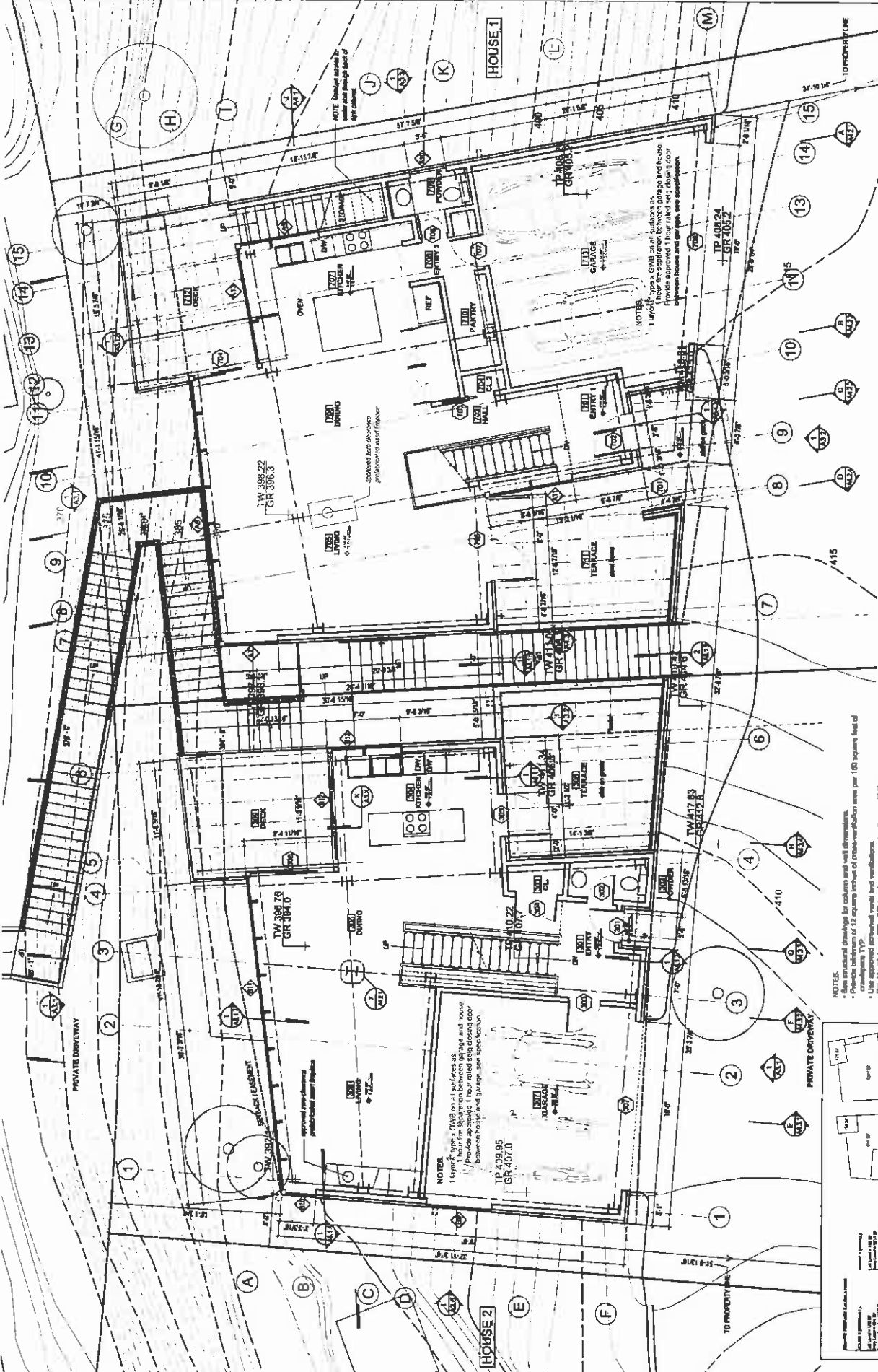
ROY RESIDENCES  
 San Bruno House 1  
 484 King's Road  
 Danville, CA  
 APRIL 2017-4-13-20  
 San Bruno House 2  
 482 King's Road  
 Danville, CA  
 APRIL 2017-4-13-18

6/27/2011

1/4" = 1'-0"

ENTRY(0)  
 LEVEL PLAN

A-2.3



- PROPERTY LINE
- SETBACK LINE
- 5' TOPOGRAPHY LINE
- 1' TOPOGRAPHY LINE
- CONCRETE WALLS
- 4" AIR SPACES
- 1" MOIST FINE
- PROTECTION WALL

- ENTRY(0) LEVEL PLAN
- SCALE 1/4" = 1'-0"
- NORTH

NOTE:  
 See structural drawings for columns and wall dimensions.  
 • Use approved waterproofing and drainage systems per (1) square foot of waterproofing TYP.  
 • Use approved waterproofing and drainage systems per (1) square foot of waterproofing TYP.  
 • Provide minimum 3/4" x 3/4" waterproofing membrane in all areas. TYP.  
 • Provide survey address prior to foundation inspection in the building department prior to construction.  
 • Wetlands fully required construction in the Ordinance Form. Firms shall have approval continuous inspection board for construction review per section 1702.

NOTE:  
 1) Use 3/4" x 3/4" mesh on surfaces as shown.  
 2) Provide approved 1 hour rated stop closing door between house and garage. see specification.



H.1.29

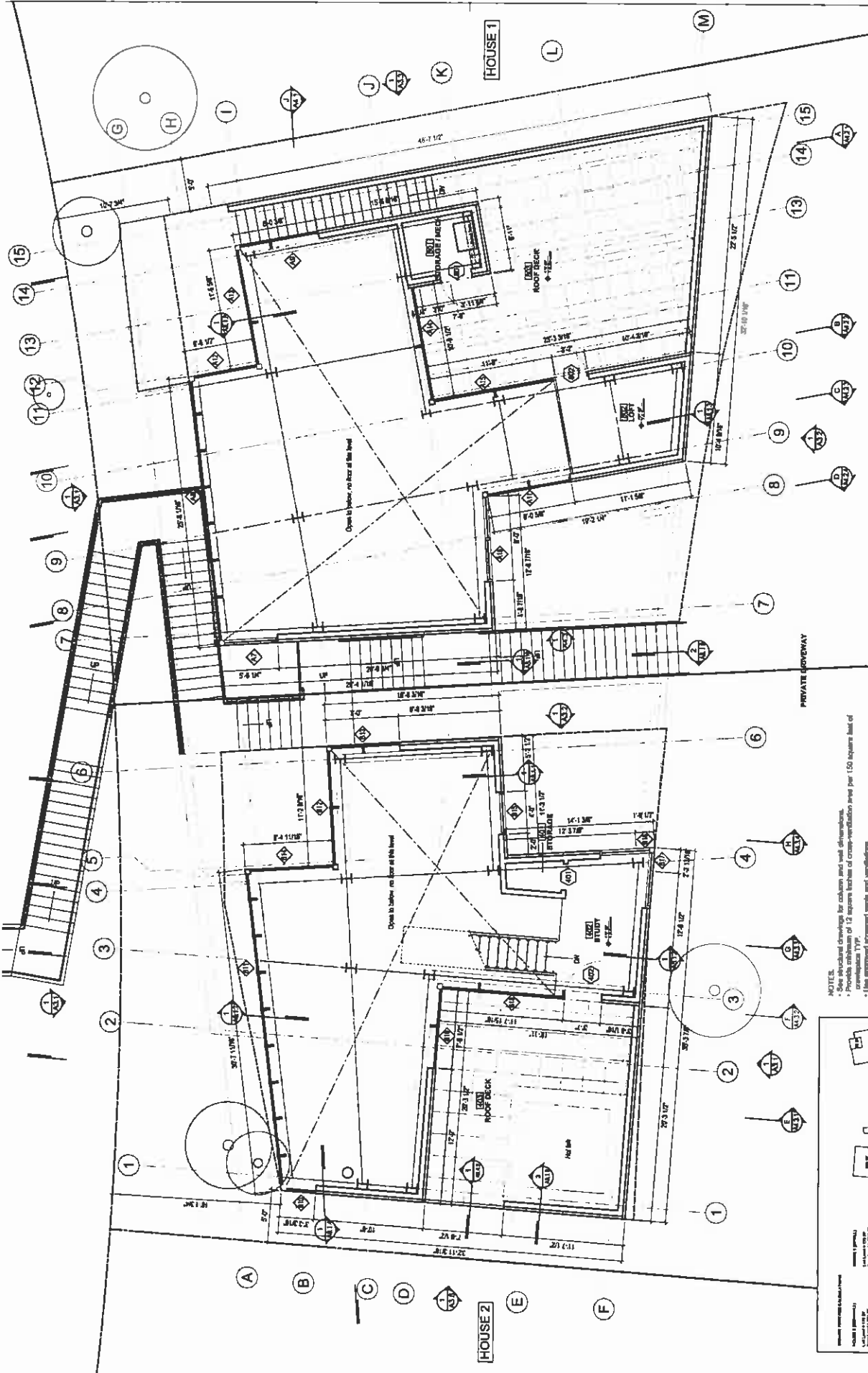
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|---|-----------------|------|
| 3 | DESIGN/REVISION | DATE |
| 2 | REVISION        |      |
| 1 | PERMIT          |      |
| 0 | ISSUE/REV       |      |

**ANDERSON ARCHITECTURE**  
 SAN FRANCISCO 90 Tenth Street, San Francisco, CA 94105  
 TEL: 415 243 9500 FAX: 415 229 8822  
 anderson@andersonarch.com  
 www.andersonarch.com

**ROY RESIDENCES**  
 San Bruno House 1  
 448 King's Road  
 Emeryville, CA  
 April 2011-July 2012

San Bruno House 2  
 442 King's Road  
 Emeryville, CA  
 April 2011-July 2012

6/27/2011  
 1/4" = 1'-0"  
**DECK LEVEL  
 (+1) PLAN**  
**A-2.4**



PROPERTY LINE  
 SETBACK LINE  
 CONCRETE WALLS  
 4" AFFAIRS

ROOF DECK (+1) PLAN  
 SCALE: 1/4" = 1'-0"

NORTH

- NOTES:**
- See attached drawings for columns and wall elevations.
  - Provide minimum 12 square feet of cross-ventilation area per 150 square feet of construction TYP.
  - Use approved screened vents and ventilators.
  - All openings minimum 36" x 20" cross-section in all areas, TYP.
  - All openings minimum 36" x 20" cross-section in all areas, TYP.
  - All openings minimum 36" x 20" cross-section in all areas, TYP.
  - Provide survey stakes prior to foundation construction to verify lot lines.
  - Windows fully retained connections to the Ordinary Moment Frame shall have special conditions. Inspectors limited by restrictive moment per section 1702.



H-1.30







|          |      |
|----------|------|
| REVISION | DATE |
| 1        |      |
| 2        |      |
| 3        |      |
| 4        |      |
| 5        |      |
| 6        |      |
| 7        |      |
| 8        |      |
| 9        |      |
| 10       |      |
| 11       |      |
| 12       |      |
| 13       |      |
| 14       |      |
| 15       |      |

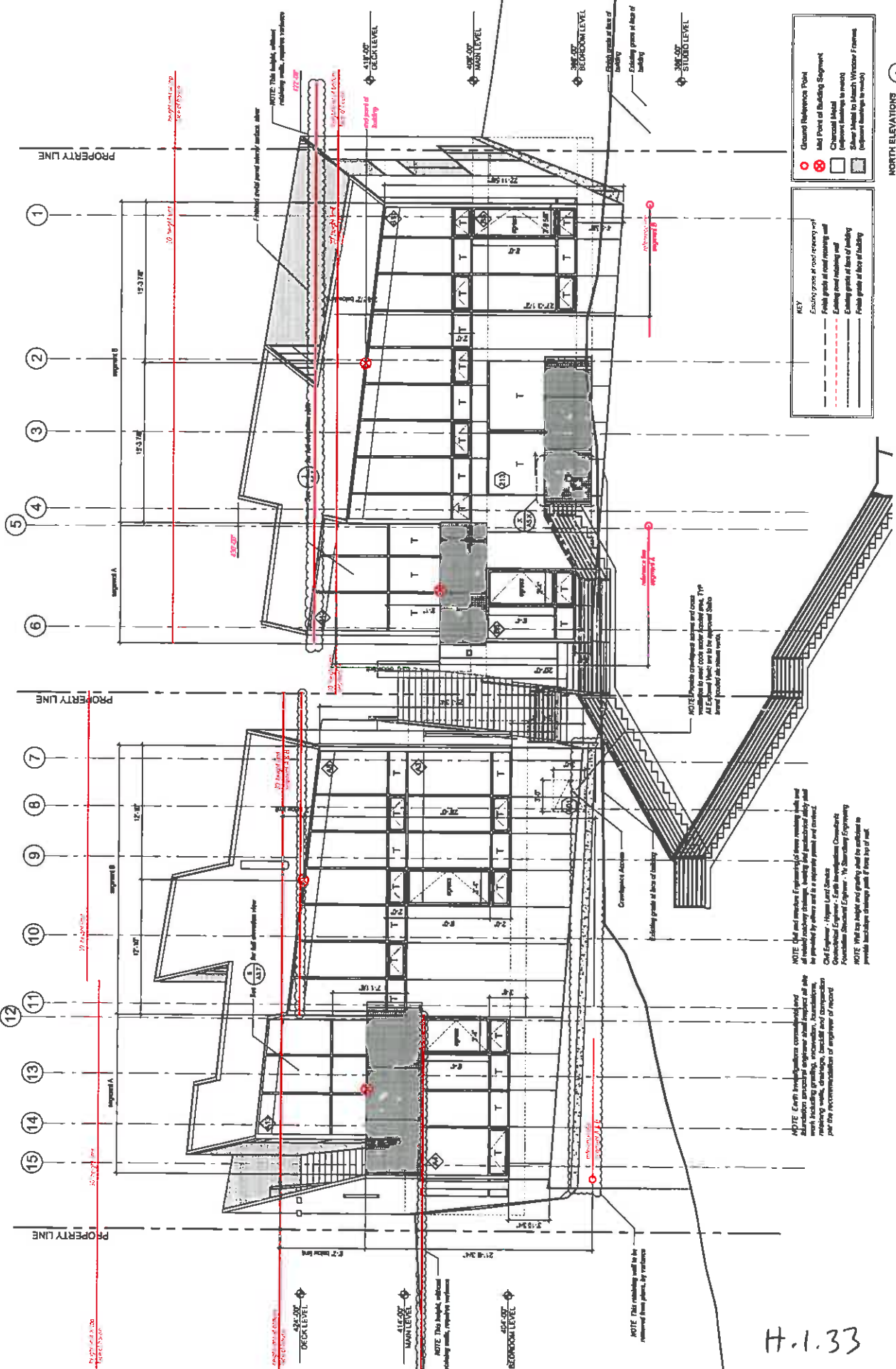
ANDERSON ARCHITECTURE  
 SAN FRANCISCO 90 TRINITY STREET SAN FRANCISCO CA 94105  
 TEL: 415.241.9500 FAX: 415.520.8232  
 www.andersonarch.com  
 ANDERSON ARCHITECTURE  
 SAN BRUNO HOUSE 1  
 481 LONG ROAD  
 SAN BRUNO CA 94061  
 APN# 001-443-170  
 SAN BRUNO HOUSE 2  
 481 LONG ROAD  
 SAN BRUNO CA 94061  
 APN# 001-443-110

6/27/2011

1/4" = 1'-0"

NORTH ELEVATION

A-3.1



KEY

- Empty zone of roof canopy wall
- Finish grade of roof canopy wall
- Finish grade of main building wall
- Existing grade of base of building
- Finish grade of base of building

Ground Reference Point

- Mid Point of Building Segment
- Charcoal Metal (reference building to match)
- Silver Metal to Match Window Frames (reference building to match)

NORTH ELEVATIONS  
 SCALE: 1/4" = 1'-0"

NOTE: All earth investigations, construction and earth retaining work shall be performed in accordance with the recommendations of the geotechnical engineer. The contractor shall provide the geotechnical engineer with all necessary information for the design of earth retaining work. The contractor shall be responsible for obtaining all necessary permits and approvals for the earth retaining work.

NOTE: All earth investigations, construction and earth retaining work shall be performed in accordance with the recommendations of the geotechnical engineer. The contractor shall provide the geotechnical engineer with all necessary information for the design of earth retaining work. The contractor shall be responsible for obtaining all necessary permits and approvals for the earth retaining work.

NOTE: All earth investigations, construction and earth retaining work shall be performed in accordance with the recommendations of the geotechnical engineer. The contractor shall provide the geotechnical engineer with all necessary information for the design of earth retaining work. The contractor shall be responsible for obtaining all necessary permits and approvals for the earth retaining work.

H.1.33



|    |                  |
|----|------------------|
| 1  | ISSUED/REV./DATE |
| 2  | PERMITS          |
| 3  | PERMITS          |
| 4  | PERMITS          |
| 5  | PERMITS          |
| 6  | PERMITS          |
| 7  | PERMITS          |
| 8  | PERMITS          |
| 9  | PERMITS          |
| 10 | PERMITS          |
| 11 | PERMITS          |
| 12 | PERMITS          |
| 13 | PERMITS          |
| 14 | PERMITS          |
| 15 | PERMITS          |

ANDERSON ARCHITECTURE  
 SAN FRANCISCO 90 TRINITY STREET SAN FRANCISCO, CA 94108  
 TEL: 415 241 5500 FAX: 415 523 8222  
 www.andersonarchitecture.com  
 ANDERSON ARCHITECTURE  
 ROY RESIDENCES  
 San Bruno House 1  
 10000 S. San Bruno Ave  
 Brisbane, CA  
 APM# 007-443-170  
 San Bruno House 2  
 480 Kono'ia Road  
 Brisbane, CA  
 APM# 007-443-110

6/27/2011  
 1/4" = 1'-0"

SOUTH ELEVATION  
 A-3.2



Note: all items circled in red shall be approved by the local jurisdiction.

|   |                                    |
|---|------------------------------------|
| ○ | Ground Reference Point             |
| ⊗ | Mid Point of Building Segment      |
| ⊗ | Chimney                            |
| ⊗ | Chimney Metal                      |
| ⊗ | Support Structure to metal         |
| ⊗ | Shelf Metal to Match Window Frames |
| ⊗ | Shelf Metal to match               |

NOTE: Each modification, correction and addition shall be approved by the local jurisdiction. The contractor shall be responsible for obtaining all necessary permits, including but not limited to, building, electrical, plumbing, mechanical, and fire department. The contractor shall be responsible for obtaining all necessary permits for the incorporation of any changes or additions.

Assembly wall and foundation construction shall be in accordance with the building code. All exterior finishes shall be in accordance with the building code. All exterior finishes shall be in accordance with the building code. All exterior finishes shall be in accordance with the building code.

NOTE: Provide complete access and egress for all exterior finishes. All exterior finishes shall be in accordance with the building code. All exterior finishes shall be in accordance with the building code. All exterior finishes shall be in accordance with the building code.

SOUTH ELEVATIONS  
 SCALE 1/4" = 1'-0" 1

H.1.34

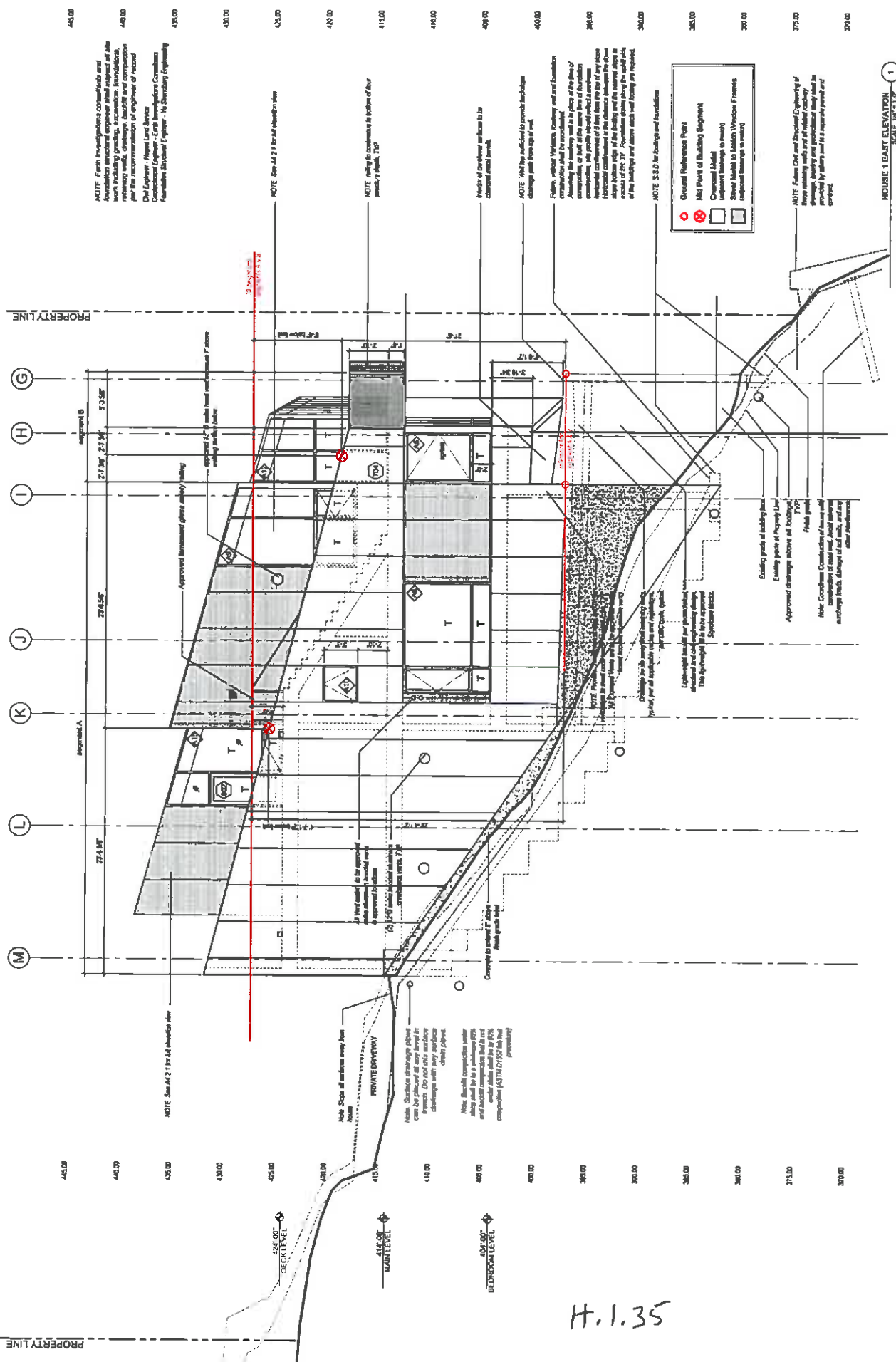
|          |            |
|----------|------------|
| REVISION | DATE       |
| 1        | 06/27/2011 |
| 2        | 06/27/2011 |
| 3        | 06/27/2011 |
| 4        | 06/27/2011 |

ANDERSSON ARCHITECTURE  
 415 241 9900 FAX 415 230 8222  
 www.andersonarchitecture.com

ROY RESIDENCES  
 San Bruno House 1  
 492 Elgin Road  
 San Bruno, CA  
 APN# 007-443-120

San Bruno House 2  
 492 Elgin Road  
 San Bruno, CA  
 APN# 007-443-110

DATE: 6/27/2011  
 SCALE: 1/4" = 1'-0"  
 HOUSE 1 EAST ELEVATION  
 A-3.3



NOTE: Earth Investigations Consultants and foundation structural engineer shall inspect all jobs including grading, excavation, foundations, retaining walls, etc. and shall submit a report for the recommendation of engineer of record.

CEI Engineer - Miguel Luis Soto  
 Foundation Structural Engineer - Earth Investigations Consultants  
 Foundation Structural Engineer - 7% Secondary Engineering

NOTE: See A4.2 for all elevation view

NOTE: Refer to connection to bottom of floor slabs in typical TYP

Methods of fastening and secure to be checked on-site per code.

NOTE: W&B has indicated to provide landscape drainage path from top of roof.

Floors, without Ventilation, Crawlspace and Foundations construction shall be coordinated with the City of San Bruno in a plan of the site of construction, or both of the site of construction, and shall include a minimum horizontal confinement of 9 feet from the top of any above ground structure to the bottom of the above ground structure. The foundation shall be on the side of the building and above each wall footing are required.

NOTE: S.S.D. for footings and foundations

|   |                                    |
|---|------------------------------------|
| ○ | General Reference Point            |
| ⊗ | Mid Point of Building Segment      |
| ⊗ | Chase and Metal                    |
| ⊗ | Inset Metal                        |
| ⊗ | Inset Metal to Match Window Frames |
| ⊗ | (Inset Metal to match)             |

NOTE: Fuses OK and Structural Engineering of any existing walls and all related existing structure, bearing and structural steel shall be checked by owner and if separate permit and contract.

HOUSE 1 EAST ELEVATION  
 SCALE: 1/4" = 1'-0" 1

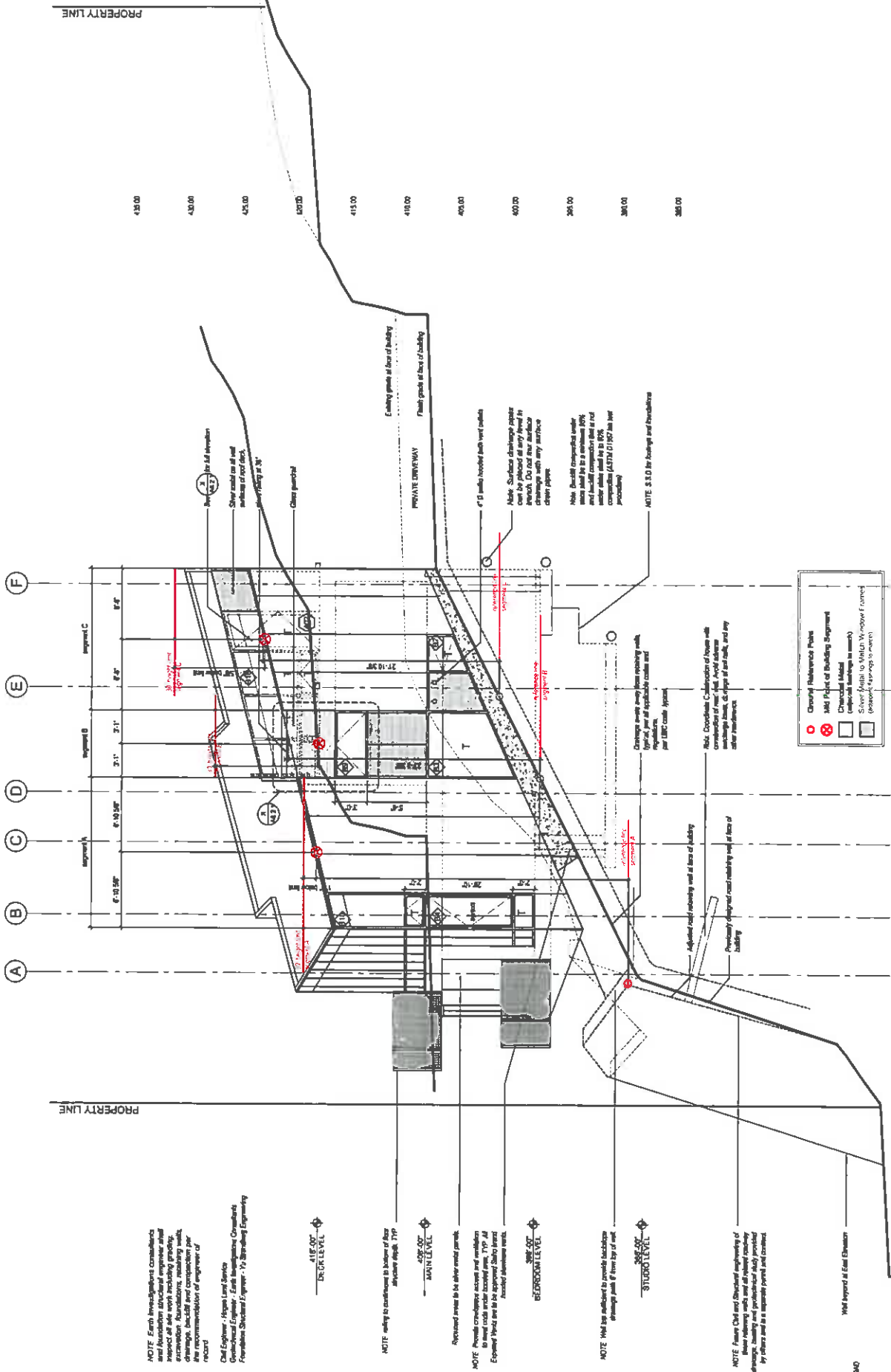
H.1.35



|   |             |      |
|---|-------------|------|
| 1 | PRELIMINARY | DATE |
| 2 | REVISION    | DATE |
| 3 | REVISION    | DATE |
| 4 | REVISION    | DATE |
| 5 | REVISION    | DATE |
| 6 | REVISION    | DATE |
| 7 | REVISION    | DATE |
| 8 | REVISION    | DATE |

ANDERSON ARCHITECTURE  
 ANDERSON ARCHITECTURE  
 SAN FRANCISCO 30 TOWN STREET, SAN FRANCISCO, CA 94105  
 TEL: 415.243.9500 FAX: 415.230.9522  
 www.andersonarchitecture.com  
 ANDERSON ARCHITECTURE  
 SAN BRUNO HOUSE 1  
 SAN BRUNO HOUSE 2  
 SAN BRUNO HOUSE 3  
 SAN BRUNO HOUSE 4  
 SAN BRUNO HOUSE 5  
 SAN BRUNO HOUSE 6  
 SAN BRUNO HOUSE 7  
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 SAN BRUNO HOUSE 99  
 SAN BRUNO HOUSE 100

ROY RESIDENCES  
 6/27/2011  
 1/4" = 1'-0"  
 HOUSE 2 WEST ELEVATION  
 A-3.6



HOUSE 2 WEST ELEVATION  
 SCALE 1/4" = 1'-0"

2

H-1.37

|   |           |      |
|---|-----------|------|
| 3 | REVISION  | DATE |
| 2 | REVISION  | DATE |
| 1 | PERMIT    | DATE |
| 0 | ISSUE/REV | DATE |

NOTE: Earth investigators consultants and foundation structural engineers shall report all the work including grading, excavation, foundations, retaining walls, etc. to the local building department for its incorporation of approval of records.

City Engineer: [Signature] Seal: [Seal]

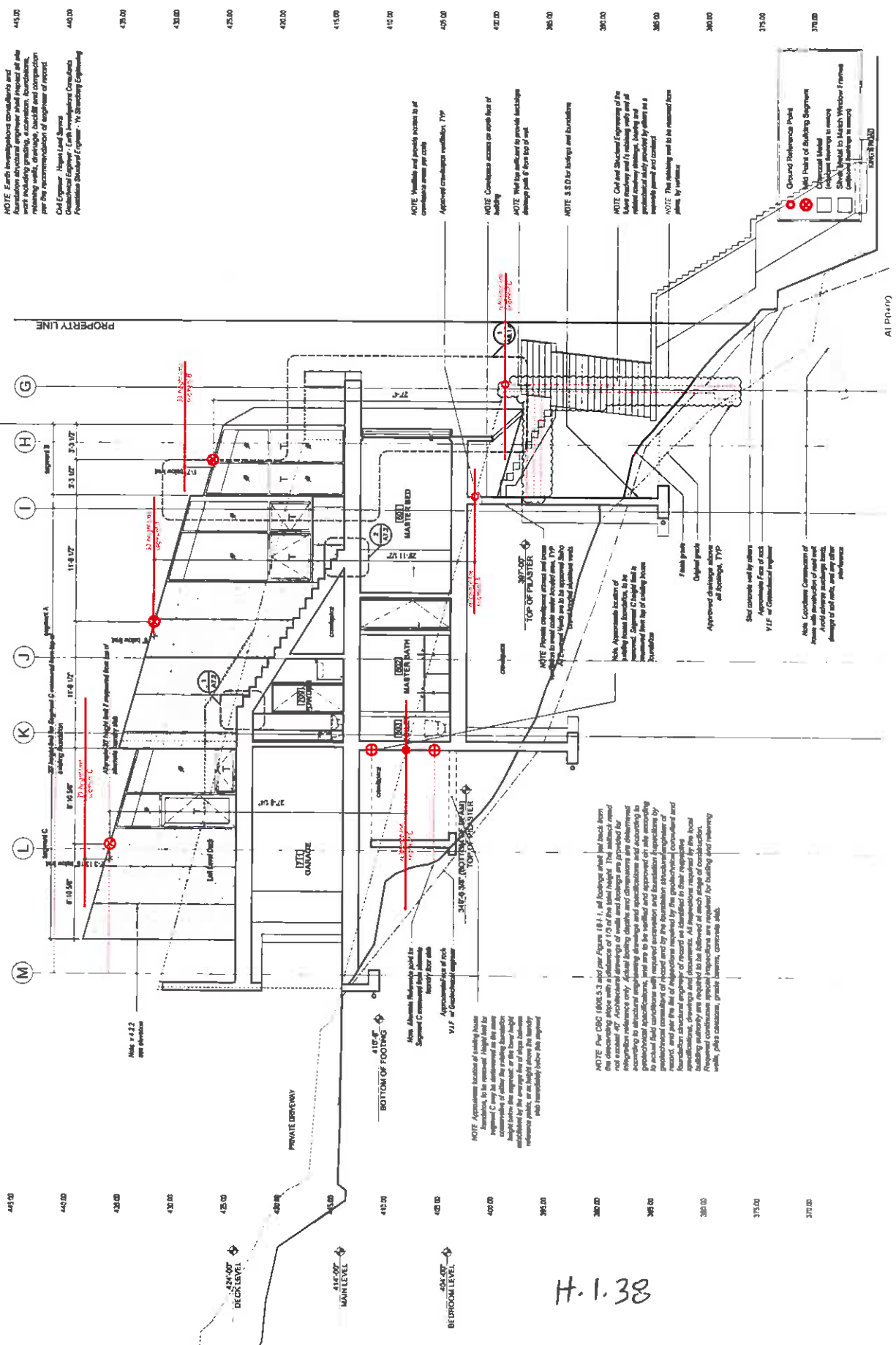
Professional Structural Engineer - W. Sturtevant Engineering

ANDERSON ARCHITECTURE  
 545 FAY AVENUE, SAN FRANCISCO, CA 94105  
 TEL: 415.242.9200 FAX: 415.202.9222  
 www.andersonarchitecture.com

ROY RESIDENCES  
 San Bruno House 1  
 480 King's Road  
 Brisbane, CA  
 APN# 071419-120

San Bruno House 2  
 487 King's Road  
 Brisbane, CA  
 APN# 071419-110

DATE: 6/27/2011  
 SCALE: 1/4" = 1'-0"  
 HOUSE 1  
 CROSS SECTION  
 A-4.2.1



SECTION AA  
 SCALE 1/4" = 1'-0"

H.1.38

|   |           |      |
|---|-----------|------|
| 3 | REVISION  | DATE |
| 2 | REVISION  | DATE |
| 1 | PERMIT    | DATE |
| 0 | ISSUE/REV | DATE |

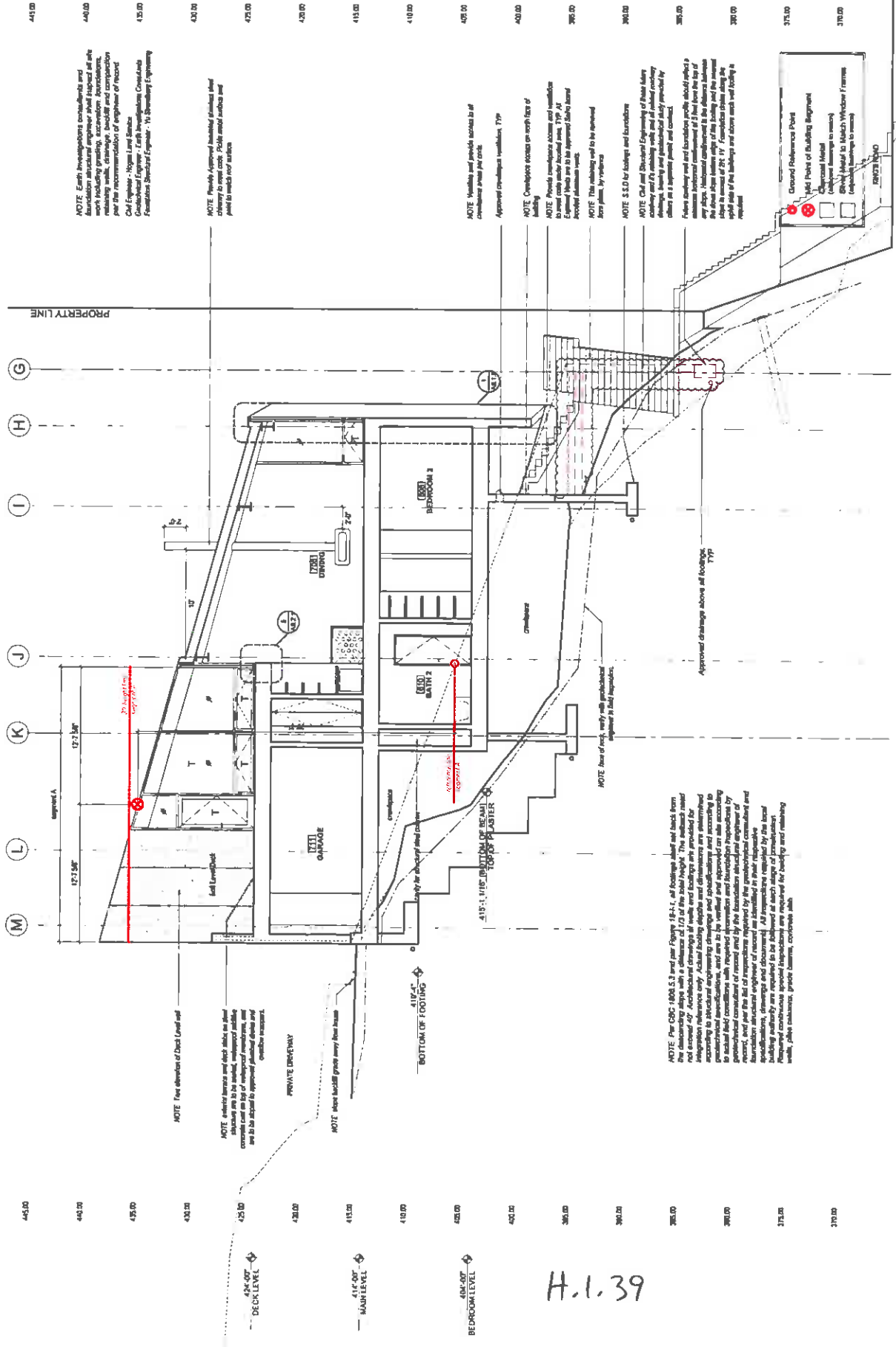
844 PLYMOUTH ST. SAN FRANCISCO, CA 94109  
 TEL: 415 243 9000 FAX: 415 252 9522  
 www.andersonarchitecture.com



**ROY RESIDENCES**  
 San Bruno House 1  
 488 King's Road  
 Berkeley, CA  
 APN: 001-443-126  
 San Bruno House 2  
 482 King's Road  
 Berkeley, CA  
 APN: 001-443-110

6/27/2011  
 1/4" = 1'-0"

**HOUSE 1  
 CROSS SECTION  
 A-4.2.2**



NOTE: Earth Investigations consultants and geotechnical engineers shall provide the work including grading, excavation, foundations, retaining walls, drainage, accessibility and compaction per the recommendations of engineer of record.  
 Civil Engineer - Hogan Land Services  
 Geotechnical Engineer - Earth Investigations Consultants  
 Foundation Specialist Engineer - Yu Structural Engineering

NOTE: Please Approved foundation permit and verify all foundation details and materials per the approved plans.

NOTE: Verify and provide details to all foundation permit per code.  
 Approved foundation foundation, TYP

NOTE: Complete notes on each floor of building.  
 NOTE: Provide foundation details and materials to meet code under local code, TYP. All Engineer Notes are to be approved before issued. Approved foundation notes.

NOTE: This retaining wall to be approved from plans, by reference.

NOTE: S.S.D for footings and foundations.  
 NOTE: Civil and Structural Engineering of these heavy retaining walls and all related retaining structures, including any foundation study provided by others as a separate permit and contract.

Future existing and foundation profiles should include a cross-section of the existing foundation from the top of the footing to the bottom of the footing. The cross-section should include the edge of the footing and the material along its vertical face. 2x 1/4" Foundation plates along the vertical face of the buildings and across each wall footing in required.



NOTE: Per CBC 1808.5.8 and per Figure 18-1.1, all footings shall and back from the edge of the footing to the edge of the footing. The footing shall not exceed 47'. Architectural drawings of walls and footings are provided for information reference only. Actual footing depths and dimensions are determined according to structural engineering drawings and specifications and according to actual field conditions with required dimensions and tolerances. Foundation of geotechnical consultant of record and by the foundation structural engineer of record, and per the list of requirements required by the geotechnical consultant and structural engineer of record. All foundation details shall be approved by the building authority are required to be followed in each stage of construction. Retained structures approved (foundations) are required for building and retaining walls, other structures, grade beams, concrete slab.

NOTE: True elevation of Deck Level wall.

NOTE: elevated basins and deck shall be used as shown. All basins shall be used, independent of the construction and shall be approved before any use and to be subject to approved structural plans and specifications.

NOTE: Water shall grade away from house.

NOTE: Base of rock, verify with geotechnical engineer in field inspection.

Approved drainage above all footings TYP

SECTION 180  
 SCALE 1/4" = 1'-0"

H.1.39



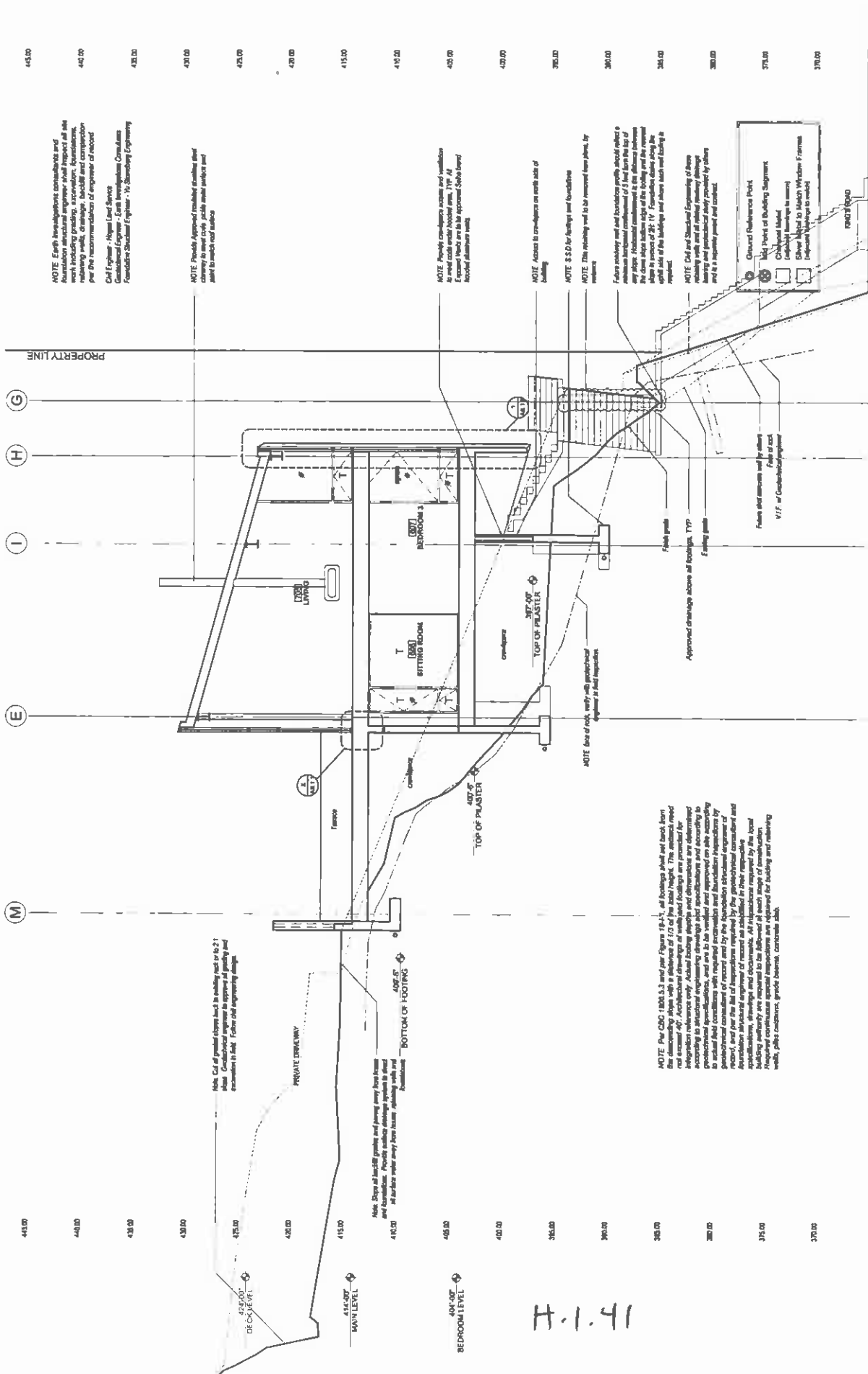
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|---|-------------|------------|
| 3 | REVISION    | NO. / DATE |
| 2 | REVISION    | NO. / DATE |
| 1 | PERMIT      | NO. / DATE |
| 0 | ISSUED/REV. | NO. / DATE |

SAN FRANCISCO 90 TOWNSEND STREET, SAN FRANCISCO, CA 94105  
 TEL: 415.435.9500 FAX: 415.526.9522  
 www.andersonarchitecture.com  
**ANDERSON ARCHITECTURE**  
**ROY RESIDENCES**  
 San Bruno House 1  
 489 King's Road  
 Sausalito, CA  
 APRIL 01, 1415-150  
 San Bruno House 2  
 482 King's Road  
 Sausalito, CA  
 APRIL 07, 1415-110

6/27/2011

1/4" = 1'-0"

HOUSE 1  
 CROSS SECTION  
**A-4.2.4**



SECTION ID: A-4.2.4-1

NOTE: Earth Investigations consultants and geotechnical engineers shall provide all necessary geotechnical data, including soil test results, foundation recommendations, retaining walls, drainage, backfill and compaction per the recommendations of engineer of record.  
 Civil Engineer: Miguel Laredo-Sanchez  
 Geotechnical Engineer: Earth Investigations Consultants  
 Foundation Structural Engineer: In-Structuring Engineering

NOTE: Privately approved residential drainage shall be installed in accordance with local codes and shall meet performance standards for residential roof drains.

NOTE: Privately approved access and ventilation to roof shall be installed in accordance with local codes and shall meet performance standards for residential roof access.

NOTE: Access to roof shall be installed in accordance with local codes and shall meet performance standards for residential roof access.

NOTE: S.S.D for footings and foundations.

NOTE: This retaining wall to be removed from plans by owner.

Felted plywood and fasteners shall be installed in accordance with local codes and shall meet performance standards for residential roof access.

NOTE: CMA and Structural Engineering of these retaining walls and all related structural elements shall be provided by others and it is a separate permit and contract.



NOTE: Per CBC (IBC 5.3 and per Figure 19-2.1), all footings shall be back-bored the diameter shown with a clearance of 1/2 of the total height. The extent, depth and location of back-boring shall be as shown. Architectural drawings of wall and footings are provided for information only. All structural drawings shall be prepared and stamped by a professional geotechnical engineer, and shall be verified and approved on site according to actual field conditions with required excavation and foundation inspections by the geotechnical engineer. All drawings shall be prepared by the responsible geotechnical engineer and shall be stamped by the geotechnical engineer. All drawings shall be prepared by the responsible geotechnical engineer and shall be stamped by the geotechnical engineer. All drawings shall be prepared by the responsible geotechnical engineer and shall be stamped by the geotechnical engineer.

H.1.41



|   |             |      |
|---|-------------|------|
| 1 | PRELIMINARY | DATE |
| 2 | REVISION    | DATE |
| 3 | REVISION    | DATE |
| 4 | REVISION    | DATE |
| 5 | REVISION    | DATE |
| 6 | REVISION    | DATE |

ANDERSON ARCHITECTURE  
 ANDERSON ARCHITECTURE  
 1000 S. FRANCISCO, 90 TOWN STREET, SAN FRANCISCO, CA 94105  
 TEL: 415.243.8900 FAX: 415.292.9522  
 WWW.ANDERSONARCHITECTURE.COM  
 ANDERSON ARCHITECTURE  
 SAN BRUNO HOUSE 1  
 440 KING'S ROAD  
 BELLEVUE, CA  
 APRIL 2011-443-120  
 SAN BRUNO HOUSE 2  
 442 KING'S ROAD  
 BELLEVUE, CA  
 APRIL 2011-443-110

6/27/2011  
 1/4" = 1'-0"  
 HOUSE 2  
 CROSS SECTION  
 A-4.3.1

PROPERTY LINE

485.00  
 470.00  
 475.00  
 460.00  
 415.00  
 410.00  
 420.00  
 430.00  
 365.00  
 300.00  
 350.00

NOTE: Earth investigations conducted and soil test results used to determine foundation design. All work including grading, excavation, foundations, retaining walls, drainage, backfill and compaction for the reconstruction of engineer of record. Civil Engineer - Hyatt Land Service, Consultant Engineer - Earth Investigations Consultants, Foundation Structural Engineer - T3 Structural Engineering

Shoe to match section  
 Interior of exterior walls to be charred metal panel  
 HDG to be applied by galvalume, uncoated to walls and by structural engineering  
 Note: Cut all grades back to existing rock or to 3' HDG. Construction shall be approved as quality and construction shall follow all engineering design  
 Existing grade, look north  
 Fresh grade, slope away from house

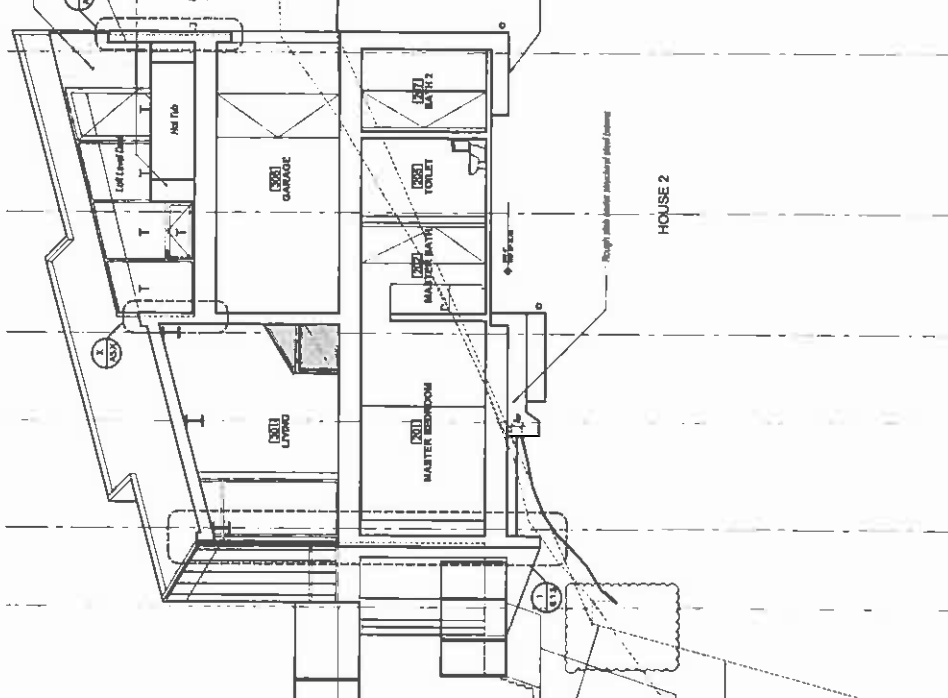
PRIVATE DRIVEWAY

NOTE: S.S.D for drainage and foundations

NOTE: Per CBC 18081.3 and per Figure 18.1.1, all footings shall be back from the exterior edge with a minimum of 1/3 of the total height. The setback need not exceed 48". Architectural drawings of walls and footings are provided for information purposes only. Allow footing depths and dimensions are determined by structural engineering. All drawings shall be verified and approved on site according to local building codes, and are to be verified and approved on site according to local building codes with required excavation and foundation inspections by professional consultant of record and by the jurisdiction structural engineer of record. All drawings shall be verified and approved on site according to local building codes and documents. All inspections required by the local building authority are required to be followed at each stage of construction. Any work not shown or not specified shall be provided for footing and retaining walls, slab columns, grade beams, concrete slab.

|   |   |
|---|---|
| ○ | Ground Reference Point  |
| ⊙ | Mid Point of Building Support                                     |
| □ | Charcoal Metal (reference drawings to match)                      |
| □ | Silver Metal to Match Window Frames (reference drawings to match) |

F  
 E  
 D  
 C  
 B  
 A



PROPERTY LINE

485.00  
 470.00  
 425.00  
 420.00  
 415.00  
 410.00  
 405.00  
 400.00  
 395.00  
 390.00  
 385.00

414' 0" DECK LEVEL  
 406' 0" MAIN LEVEL  
 397' 0" BEDROOM LEVEL  
 387' 0" STUDIO LEVEL

NOTE: This building will be an intended floor plan, by variance

NOTE: Civil and Structural Engineering of the above shown and its existing shall be the responsibility of the engineer of record. The professional of record shall be responsible for obtaining all necessary permits and notices.

AT P04-40

H.1.42

CROSS SECTION EE  
 1

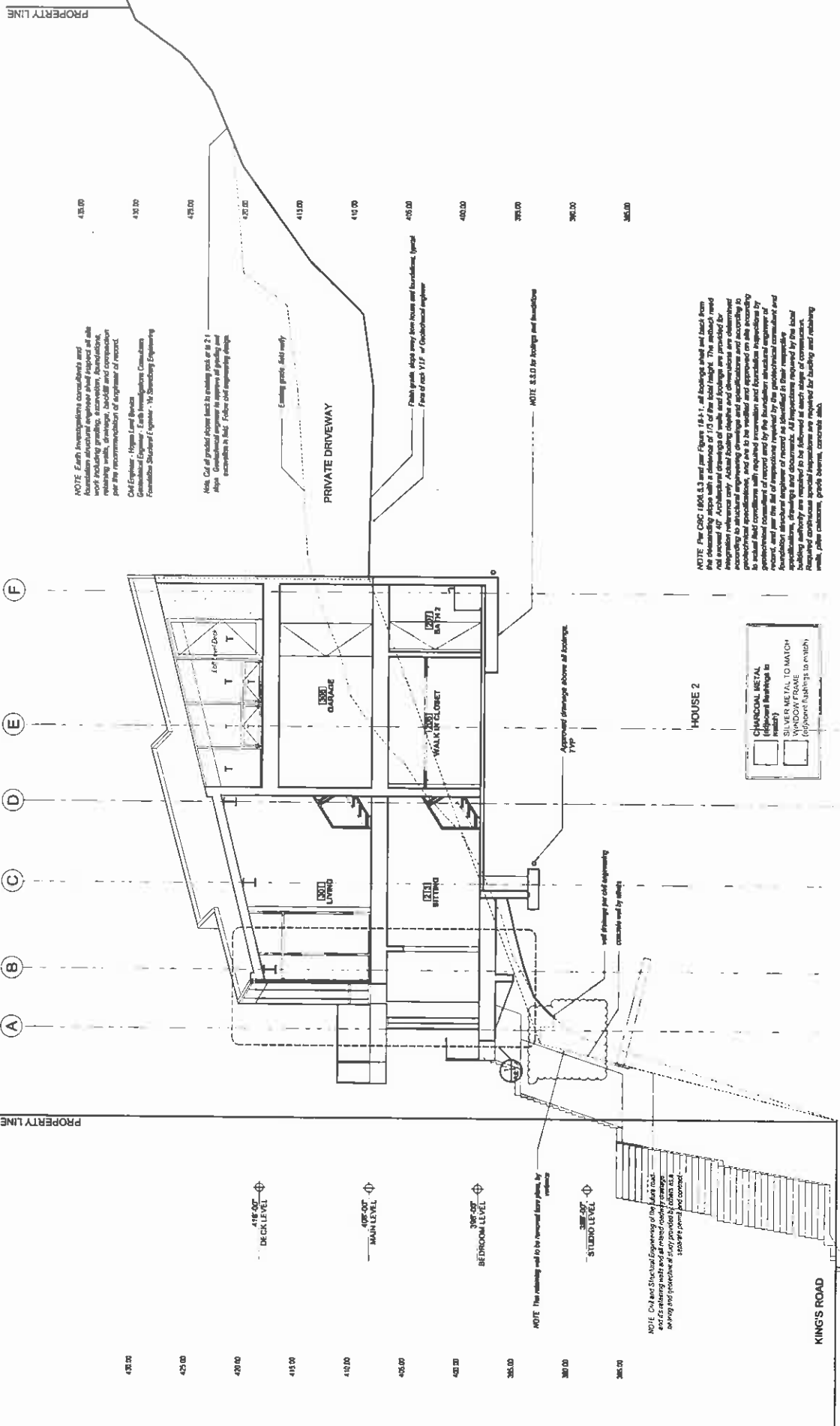
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|-----|----------|----------|
| 1   | REVISION | 12/14/17 |
| 2   | REVISION | 12/14/17 |
| 3   | REVISION | 12/14/17 |
| 4   | PERMIT   | 08/07/17 |
| 5   | ISSUE    | 08/07/17 |

ANDERSON ARCHITECTURE  
 848 KING'S ROAD  
 BREKIDALE, CA 94011  
 TEL: 415.243.9500 FAX: 415.205.9522  
 SAH FRANCISCO 90 THIRDS STREET, SAN FRANCISCO, CA 94103  
 roy.anderson@andersonarch.com

ROY RESIDENCES  
 San Bruno House 1  
 488 King's Road  
 Brekidae, CA  
 APN# 007443-120  
 San Bruno House 2  
 482 King's Road  
 Brekidae, CA  
 APN# 007443-110

DATE: 6/27/2011  
 SCALE: 1/4" = 1'-0"

HOUSE 2  
 CROSS SECTION  
 A-4.3.2



SECTION FF  
 1

AT P0-RU

H.1.43

|   |           |          |
|---|-----------|----------|
| 3 | RECEIVED  | 05/14/07 |
| 2 | RECEIVED  | 05/14/07 |
| 1 | PERMIT    | 05/14/07 |
| 0 | ISSUE/REV | DATE     |

ANDERSON ARCHITECTURE  
 SAN FRANCISCO 90 Tenth Street, East Francisco, CA 94105  
 TEL: 415 241 9000 FAX: 415 250 9522  
 www.andersonarch.com

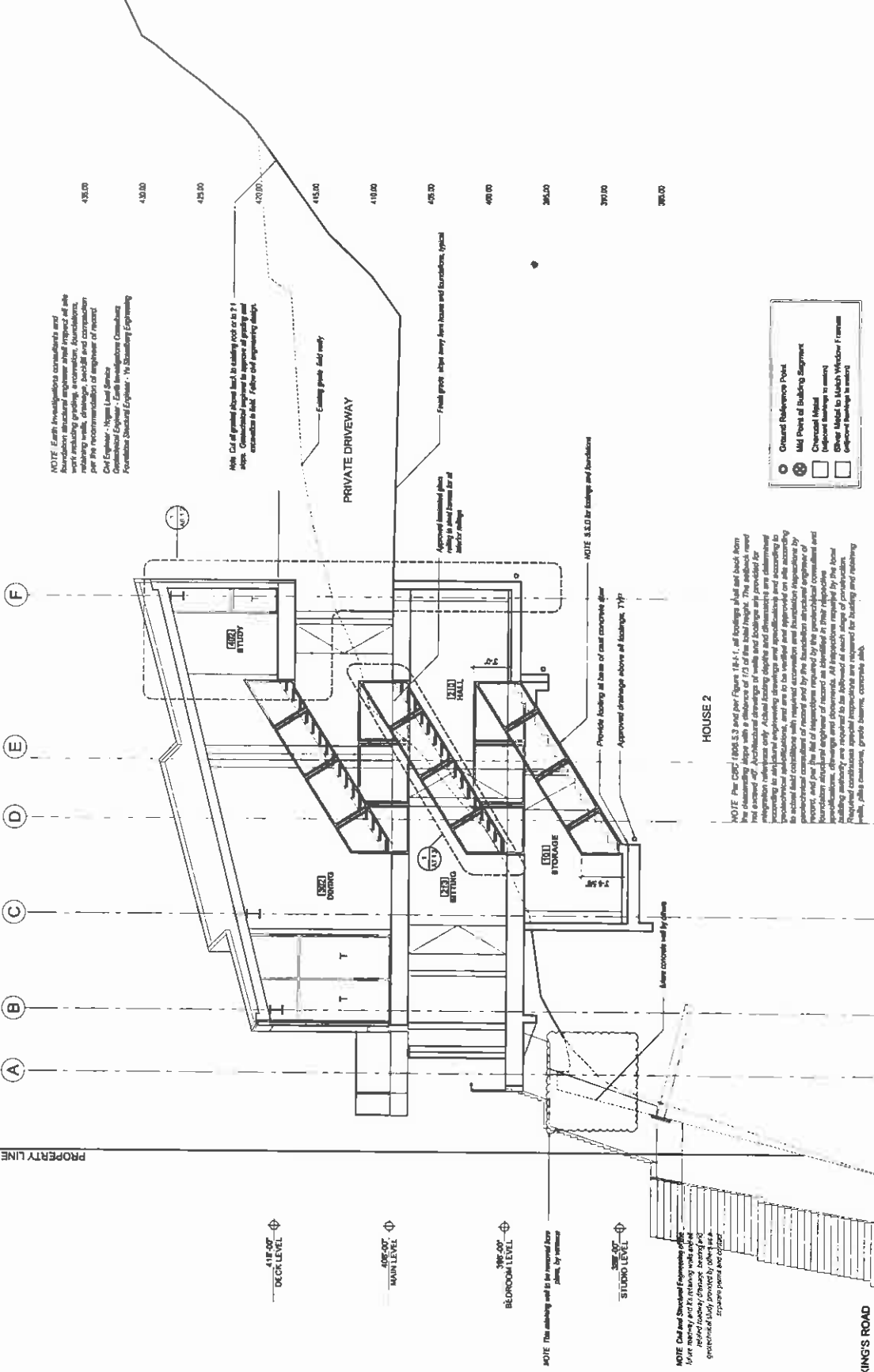


ROY RESIDENCES  
 San Bruno House 1  
 499 King's Road  
 Brisbane, CA  
 APRIL 07-443-126  
 San Bruno House 2  
 492 King's Road  
 Brisbane, CA  
 APRIL 07-443-110

8/27/2011  
 1/4" = 1'-0"

HOUSE 2  
 CROSS SECTION  
 A-4.3.3

PROPERTY LINE



PROPERTY LINE

KING'S ROAD

AT PD-60

SECTION 00  
 SCALE 1/4" = 1'-0"

H-1.44

|   |           |          |      |
|---|-----------|----------|------|
| 3 | REVISION  | REVISION | DATE |
| 2 | REVISION  | REVISION | DATE |
| 1 | PERMIT    | PERMIT   | DATE |
| 0 | ISSUE/REV | DATE     |      |

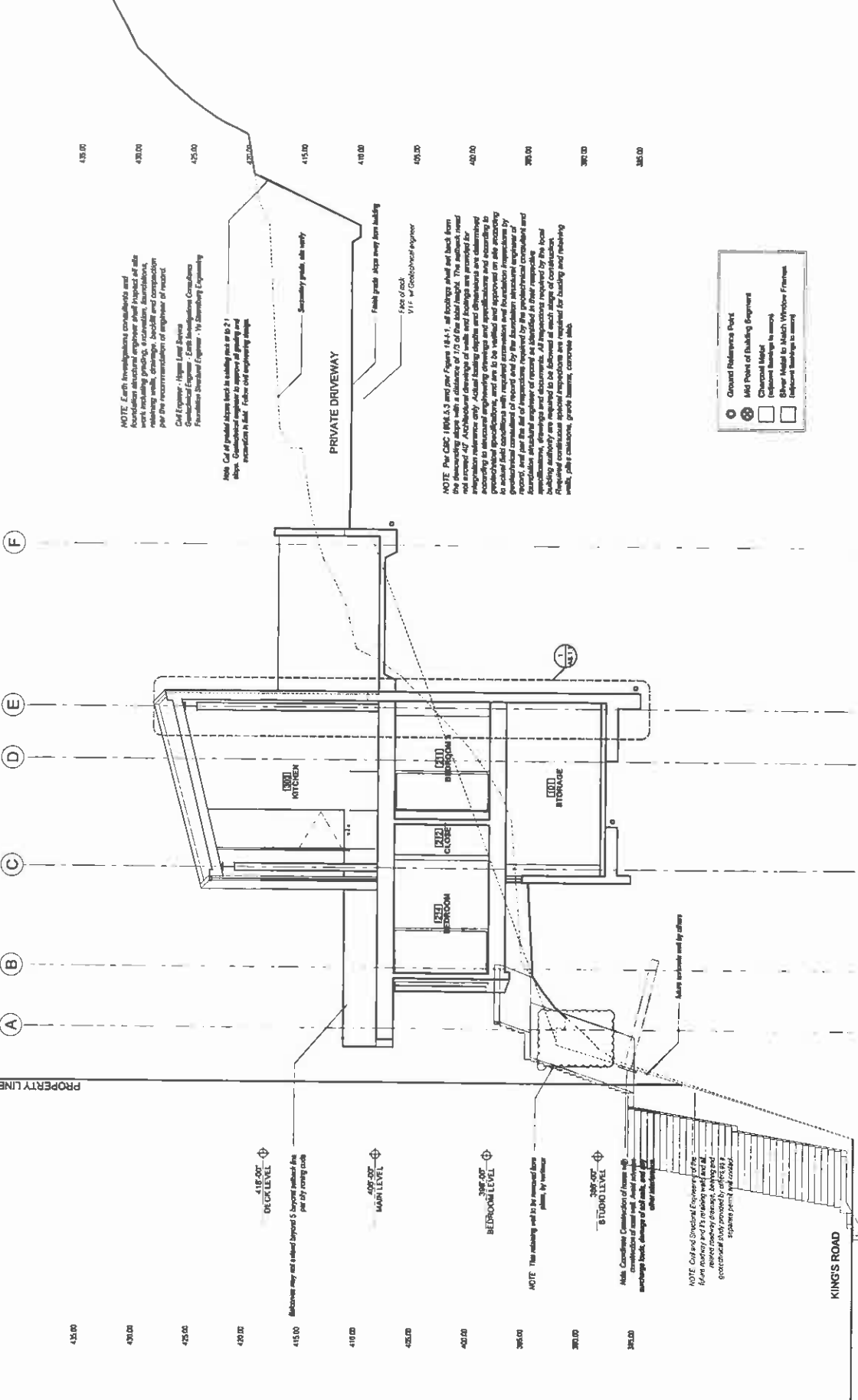
ANDERSON ARCHITECTURE  
 844 FRANCISCO 90 Tenth Street, San Francisco, CA 94103  
 TEL: 415.433.9000 FAX: 415.520.9322  
 www.andersonarch.com  
 www.andersonarch.com

ROY RESIDENCES  
 San Bruno House 1  
 488 King's Road  
 Brisbane, CA  
 AP#07-007-403-120  
 San Bruno House 2  
 482 King's Road  
 Brisbane, CA  
 AP#07-007-403-110

6/27/2011  
 1/4" = 1'-0"

HOUSE 2  
 CROSS SECTION  
 A-4.3.4

PROPERTY LINE



SECTION HH  
 SCALE: 1/4" = 1'-0"  
 1

H-1.45

|   |             |          |
|---|-------------|----------|
|   |             |          |
| 3 | RESUBMIT    | 05/01/07 |
| 2 | RESUBMIT    | 03/04/07 |
| 1 | PERMIT      | 02/06/07 |
| # | ISSUE/ REV. | DATE     |



LOOKING NORTH



LOOKING SOUTH

EXISTING ROAD PHOTOS

1



VISTA VIEWS FROM SITE

1

SAN FRANCISCO: 90 Tehama Street, San Francisco, CA 94105  
TEL: 415.243.9500 FAX: 415.520.9522

SEATTLE: 83 Columbia Street, Suite 300, Seattle, WA 98104  
TEL: 206-332-9500

asa@andersonanderson.com  
www.andersonanderson.com



PRODUCT  
**ROY, DITTFELD,  
SCHRAGA  
RESIDENCES**

SB 1 Uphill House  
466 King's Road  
Brisbane, CA  
APN# 007-443-120

SB 2 Downhill House  
462 King's Road  
Brisbane, CA  
APN# 007-443-110

DATE  
2/1/2007

SCALE  
1/8" = 1'-0"

SHEET  
**SITE  
PHOTOS**

**A-0.3**

H.1.46



EXISTING RETAINING WALL PHOTOS

1



EXISTING SITE PHOTOS

1



H.1.47



|   |             |          |
|---|-------------|----------|
|   |             |          |
| 3 | RESUBMIT    | 03/01/07 |
| 2 | RESUBMIT    | 03/01/07 |
| 1 | PERMIT      | 02/06/07 |
| # | ISSUE/ REV. | DATE     |



WEST SIDE(HOUSE2 DOWNHILL) VIEW LOOKING SOUTH ①



NORTH SIDE VIEW FROM KINGS ROAD ②

SAN FRANCISCO: 90 Tehama Street, San Francisco, CA 94105  
 TEL: 415 243 9500 FAX: 415 520 9522  
 SEATTLE: 83 Columbia Street, Suite 300, Seattle, WA 98104  
 TEL: 206 332 9500  
[asa@andersonanderson.com](mailto:asa@andersonanderson.com)  
[www.andersonanderson.com](http://www.andersonanderson.com)



**ROY, DITTFELD  
 SCHRAGA  
 RESIDENCES**

SB 1 Uphill House  
 468 King's Road  
 Brisbane, CA  
 APN# 007-443-120

SB 2 Downhill House  
 482 King's Road  
 Brisbane, CA  
 APN# 007-443-110

DATE:  
 2/1/2007

SCALE:  
 NTS

INSET:  
 3-D IMAGES

**A-0.4**

H.1.48

\\Big-island\BIG ISLAND\1. MASTER PROJECT DOCUMENTS\2004 PROJECTS\04SBR - San Bruno- RoySBR1-DitfieldSBR2\3. CAD Drawings\3.1 Current Drawings\PLOT BOTH HOUSE



EAST SIDE(HOUSE1 UPHILL) VIEW LOOKING NORTH 2



SOUTH SIDE ENTRY VIEW FROM HILLSIDE ABOVE 4

H.1.49





**STREET VIEW WITH VARIANCE**

**North Elevation**, view from Kings Road, looking uphill. If variance is granted, hillside will be left undisturbed, with existing vegetation and new landscaping presenting natural hillside to street. Entry stair will be minimally visible, woven into existing and new vegetation. This approach will best match neighboring properties.



**North Elevation, view from King's Road, looking uphill. If variance is not granted, construction will require clearing and excavation of hillside, and construction of unsightly retaining walls.**

**STREET VIEW WITHOUT VARIANCE**

H-1.51

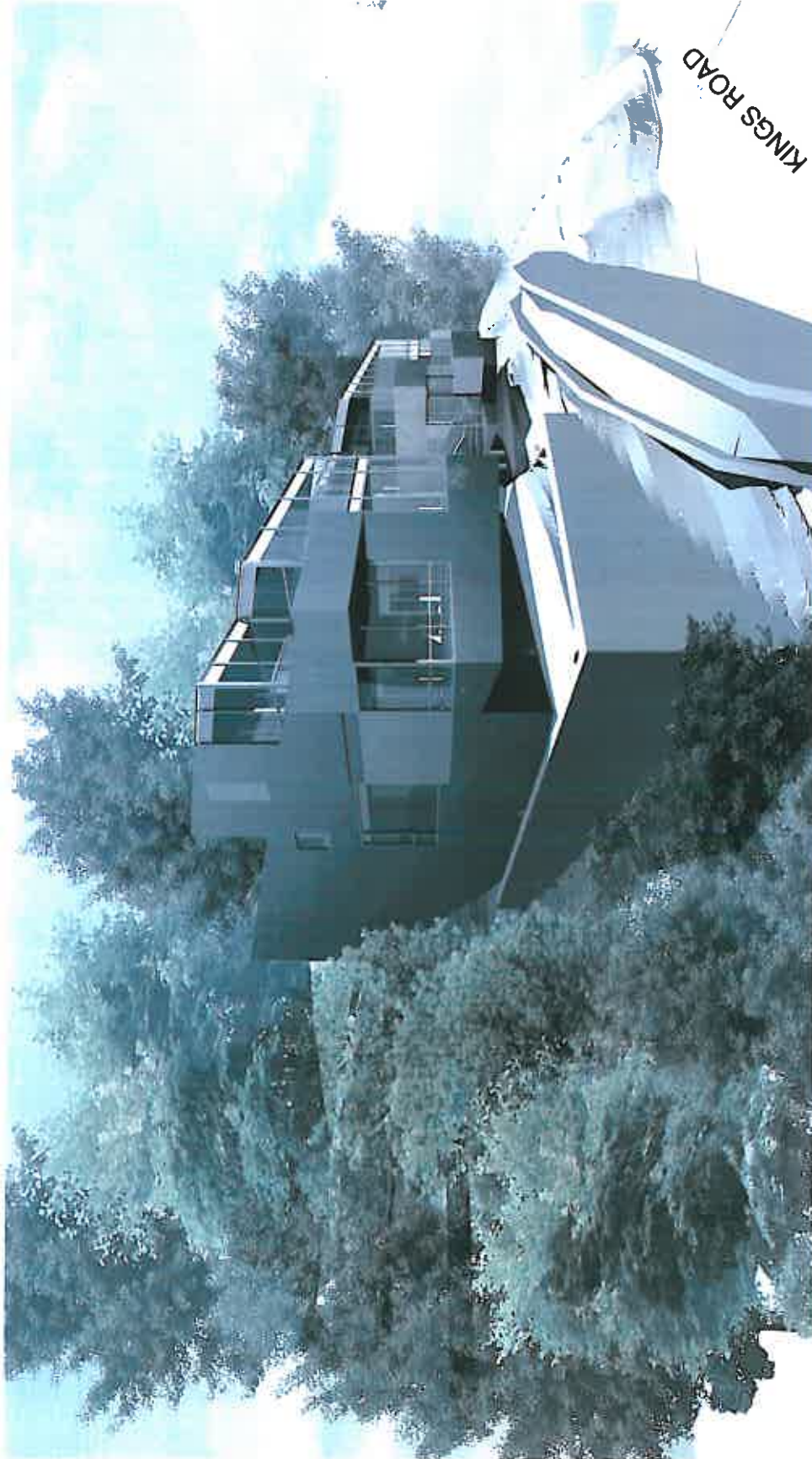




**VIEW WITH VARIANCE**

**Northeast view of house. If variance is granted, hillside will be left undisturbed, with existing vegetation and new landscaping presenting natural hillside to street. Entry stair will be minimally visible, woven into existing and new vegetation. This approach will best match neighboring properties.**

H.1.52



**Northeast view of house. If variance is not granted, construction will require clearing and excavation of hillside, and construction of unsightly retaining walls.**

**VIEW WITHOUT VARIANCE**

H-1.53





H-1.54

**VIEW WITH VARIANCE**

**Northwest view of house.** If variance is granted, hillside will be left undisturbed, with existing vegetation and new landscaping presenting natural hillside to street. Entry stair will be minimally visible, woven into existing and new vegetation. This approach will best match neighboring properties.



H.1.55

**Northwest view of house. If variance is not granted, construction will require clearing and excavation of hillside, and construction of unsightly retaining walls.**

**VIEW WITHOUT VARIANCE**







**GENERAL LANDSCAPE NOTES:**

- Landscape contractor is to coordinate all work with the general contractor.
- Contractor is responsible for daily clean-up and thorough clean-up prior to project close-out.
- Contractor is responsible for protecting all existing improvements.
- Contractor is to take all precautions in order to protect root zones and existing trees during excavation and installation.
- All plantings are to be sufficiently developed at time of installation to assure survival and growth of plantings.
- All trees are to have sufficient central leaders to assure growth and survivability.
- All areas with landscape improvements are to receive a sufficient mix of topsoil to ensure plant growth, graded smooth and even.
- Backfill all tree planting pits with native topsoil.
- Substitutions to be considered for planting are to be approved by owner during the bidding process.

**ADDITIONAL NOTES:**

- See planting detail on accompanying schedule for specific information on mature plant size.
- Water conserving drip irrigation system to be installed as required to assure health of plants, particularly in early years of maturation. Intent of planting plan and irrigation system is to minimize water use. Drip irrigation system to be installed with approved electronic timing and valve control system located in mechanical room.
- Exterior light locations noted on plans. Intent of lighting is to provide minimal lighting required for safety at building entrances. All lighting is to be hooded, directed to ground and to minimize visibility of lighting outside of immediate property.

| 04SBMH-Planting Table  |                         |                         |                |                                  |                            |                            |                         |  |
|--|-------------------------|-------------------------|----------------|----------------------------------|----------------------------|----------------------------|-------------------------|--|
| Index to Planting Schedule   | Common Name of Plant    | Botanical Name of Plant | Container Size | Quantity or Number to be Planted | Height & width at planting | Height & width at maturity | Years to reach maturity | Notes  |
| 1  | Catalina Cherry Tree    | Prunus Lyonii           | 15 gallon      | infill as needed                 | 8' high, 3' wide           | 25'                        | 10-15 years             |  |
| 2  | Coast Live Oak          | Quercus agrifolia       | 15 gallon      | infill as needed                 | 8' high, 3' wide           | 40'                        | 50 years                | Fire resistant, slow growing                                       |
| 3  | California Buckeye      |                         | 15 gallon      | infill as needed                 | 6' high, 3' wide           | 10'-15'                    | 10-15 years             |  |
| 4  | Creeping fig            | Ficus pumila            | 1 gallon       | infill as needed                 |                            | 2' tall, 6' wide           |                         | Use at edge of road  |
| 5  | Sageleaf Rockrose       | Cistus salicifolius     | 1 gallon       | infill as needed                 | 1' tall, 1' wide           |                            | 1-2 years               | Groundcover  |
| 6  | American Wisteria       | Wisteria frutescens     | 1 gallon       | infill as needed                 | 3' tall, 1' wide           | 8-10'                      | 8 years                 | Splis over retaining walls to screen                               |
| 8  | Coast Silkassel         | Garrya elliptica        | 15 gallon      | min. 11                          | 6' high, 3' wide           |                            | 5 years                 | plant densely to screen/ downhill side of house                    |
| Below are plants for Ground cover, which will use mixed varieties of sedum |                         |                         |                |                                  |                            |                            |                         |  |
| 9  | Speariial Stonecrop     | sedum lanceolatum       |                |                                  |                            |                            |                         | Perennia Herb, California Native, Drought Tolerant                 |
| 10   | Rose-flowered Stonecrop | Sedum leucom            |                |                                  |                            |                            |                         | Perennia Herb, California Native, Drought Tolerant                 |
| 11   | Sierra Stonecrop        | Sedum obtusatum         |                |                                  |                            |                            |                         | Perennia Herb, California Native, Drought Tolerant, yellow flowers |
| 12   | Wormleaf Stonecrop      | Sedum stonopetalum      |                |                                  |                            |                            |                         | Perennia Herb, California Native, Drought Tolerant                 |



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