

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Meeting of May 26, 2011

FROM: Tim Tune, Senior Planner, via John Swiecki, Community Development Director

SUBJECT: **3000-3500 Marina Boulevard;** Design Permit DP-2-11, Use Permit UP-7-11 and Variance V-2-11; Time Extensions for Design Permit DP-5-07 Approving Two Office Buildings and a Parking Structure with Related Site Grading, Use Permit UP-3-08 Accepting 1,373 Parking Spaces Including 1,175 “Universal” Spaces Located Off Site within the Parking Structure, and Variance V-1-08 for the Parking Structure’s Lot Coverage and East Side Setback; Don Little, Don Little Group, applicant; Sierra Point LLC, owner; APN 007-165-020

Request: The applicant requests that the Planning Commission extend the previous approvals for the Sierra Point Office Project, which consists of 438,104 square feet of office space in 2 buildings on the northwest side of Marina Boulevard, east of Highway 101. An 8-story building near the shoreline, a 10-story building toward the southeast corner of the site and a 5-level parking structure along rear of the site were approved.

The approximately 8.87-acre site would be subdivided into 3 parcels, with the 8-story building on the northeast parcel, the 10-story building on the southeast parcel, and the parking structure on the west parcel. Variances were granted to allow the parking structure to exceed the 40% maximum for lot coverage and to allow its architectural projections to encroach 8 ft. into the required 15 ft. east side setback.

In addition to allowing parking for the office buildings to be provided off-site within the parking structure, a Use Permit was approved to modify the parking regulations to accept 1,373 parking spaces for the project, including 1,175 “universal” spaces, each 8.5 ft. by 18 ft., in lieu of compact and standard-size stalls. The 88-space (6%) reduction was supported by transportation demand management (TDM) measures--carpool only parking, bike racks and an on-site shuttle stop—included in the project. The parking reduction included revisions requested by the Bay Conservation and Development Commission (BCDC) that eliminated 2 surface parking spaces. The reduction in required parking would also accommodate landscaping and median improvements per Condition G.1.

The site will be regraded and overlain by a 2 ft. minimum foundation layer, a 1 ft. minimum thick clay cap and a 2 ft. minimum thick cover layer, with excess clean soil being exported from the site.

Due to the economy and changes in ownership of the property, it was not possible to start construction prior to expiration of the Design Permit, Use Permit and Variance approvals on April 20, 2011. The Tentative Parcel Map (TPM-1-08), though, was automatically extended for two years by Government Code Section 66452.22 adopted by the State, so it will not expire until April 20, 2013 (unless extended further by State legislation). The applicant requests that the Design Permit, Use Permit and Variance extensions be approved to synchronize with the life of the Tentative Parcel Map. Given increasing demand for campus-type facilities suitable for internet companies, the applicant proposes to proceed with the project as previously approved.

Recommendation: Conditionally approve extensions of the previously approved Design Permit, Use Permit and Variance per the agenda report, via adoption of Resolution DP-2-11/UP-7-11/V-2-11 with Exhibit A containing the findings and conditions of approval.

Environmental Determination: A Mitigated Negative Declaration (MND) was adopted by the Planning Commission on February 26, 2009, after finding that the proposed project would not have a significant effect on the environment subject to the recommended 39-plus mitigation measures [see the attached mitigation monitoring and reporting program (MMRP)]. That decision was affirmed by the City Council on April 20, 2009.

Per State CEQA Guidelines Section 15152, the MND tiered off the Sierra Point Biotech Project EIR previously certified by the City Council in May 2008, which evaluated the cumulative buildout of Sierra Point, including the office project as proposed. The EIR identified the full extent of cumulative long-term regional traffic impacts on Highway 101 as unmitigable, finding that they will occur with or without future development at Sierra Point. The City Council adopted a statement of overriding consideration in adopting the EIR, which sufficiently addresses the issue for the subject project per State CEQA Guidelines Section 15152(f)(1).

Minor modifications to the site plan incorporated per BCDC recommendations and modifications to the traffic analysis made in response to comments received from Caltrans were found to be adequately addressed by the MND. Neither of these modifications was found to result in new or increased environmental impacts or to require changes to the mitigation measures.

Applicable Code Sections: Per Brisbane Municipal Code Section 17.42.060.B, a Design Permit may be extended by the Planning Commission for a period or periods of time not exceeding 36 months. The findings required to grant Design Permits are contained in BMC Section 17.42.040. Planning Commission approval of grading is required per BMC Sections 15.01.081 & 17.32.220.

BMC Section 17.34.010 contains the parking requirements for office uses. Per BMC Section 17.34.090, up to 50% of the required parking may be designed for small-sized vehicles. Per BMC Section 17.34.130, the design requirement for 90-degree standard-size parking spaces is 9

ft. by 18 ft. and the requirement for compact spaces is 8 ft. by 16 ft. BMC Section 17.34.115 provides for modification to the parking regulations via approval of a Use Permit. The applicable findings for such Use Permits are found in BMC Sections 17.40.060 and 17.34.115.A & B.

The findings required to grant a Variance to the setback and lot coverage standards in BMC Sections 17.040.C.2.a & 17.18.040.E are listed in BMC Section 17.46.010.

Background: The 2001 Sierra Point Design Guidelines envisioned 360,000 sq. ft. of space in 6 and 8 story office buildings and a 4-level parking structure on the subject site, identified as Parcel 3. In conjunction with the Sierra Point Biotech Project, the City Council approved the transfer of 89,815 sq. ft. of development rights from the Biotech site to Parcel 3, thereby increasing the permitted buildable area to 449,815 sq. ft. of office. The project as proposed includes 438,104 sq. ft.

In its approval of this project on February 26, 2009, the Planning Commission determined that incorporating the allowable square footage onto the site by increasing the building heights by 2 stories and the parking structure by an additional level would be more consistent with the Guidelines than would expanding the building footprints. The prevailing design theme throughout Sierra Point is the use of slender, geometric office towers, maintaining building separation and view corridors throughout the site. The midrise buildings at 8 and 10 stories as proposed fall within the overall height and story limits established for Sierra Point. The layout is also consistent with the established development pattern within Sierra Point, with taller buildings closer to the center of the site and lower buildings along the shoreline.

At the City Council hearing of the appeal of the Commission's approval, the City Attorney advised that the SP-CRO District zoning regulations do not specify a height limit (in feet); although, the Guidelines show lower heights (by number of stories) than proposed for this site. He explained to the Council that the Planning Commission was well within its authority to determine that it would be more in keeping with the intent of the guidelines to accommodate the transfer of square footage by allowing taller buildings than by increasing lot coverage. As stated on page 42 of the Guidelines, "The Design Guidelines, because they are guidelines, only set direction for an integrated and cohesive development and are not themselves regulations. ... Departure from these Guidelines should only be made after careful evaluation." The City Council affirmed the Planning Commission's approval of the project on April 20, 2009.

Analysis and Findings: The required findings for approval of the requested Design Permit, Use Permit and Variance are addressed in the attached draft resolution. The following is a brief discussion of the more significant issues previously raised by these applications.

Design Permit. The site plan complies with the SP-CRO District development regulations established in the Zoning Ordinance, with the exception of the required Variances and parking exceptions discussed below. The project, as previously approved, also generally complies with the standards established in the Sierra Point Design Guidelines (note the discussion above).

The proposed office buildings would be of contemporary style, characterized by strong geometric elements. A curved blue glass skin with metal bands would be accented by GFRC panels in shades of gray. Plane changes and curved and angled elements of the building would add visual interest to the project. Per Condition G.3, additional architectural treatment such as a canopy or trellis will be added to the building entries to create a stronger sense of entry and focus to the buildings. This may result in the entry canopy on the north side of the northern 8-story building encroaching into BCDC's 100 ft. shoreline band.

A five-level parking structure was approved behind the office buildings, along the freeway. From the freeway, it would typically be glimpsed for short periods of time from vehicles traveling at high speed, and would appear as a long and low building in the foreground of more prominent and visually interesting buildings beyond. Given this context, the project's visual quality was found to be best served if the garage blended into its surroundings and did not attract visual attention. To break up the vast expanse of rooftop parking, a bank of trellises over the center two rows of rooftop parking was proposed. Columnar trees would be planted to screen the west side of the parking structure, facing the freeway. It was recommended that a darker accent color be used along the upper levels of the garage, again to deemphasize the visibility of the garage face (see Condition G.5).

The project is subject to the City's Green Building Ordinance, which requires that it qualify as LEED Silver with 28 to 33 points. As indicated in the original "LEED scorecard" for the project (attached), the project was designed to achieve a minimum of 28 points, with another 13 points identified as potentially achievable as the design process moves forward. This does not include any additional points that might be earned through the alternative energy source options per Condition V.

A particular interest when the Commission first reviewed this project was the proposed landscape treatment along the northerly edge of the project. The regional Bay Trail will be extended from the northern edge of the site (where it also serves as a required emergency access roadway) down the west edge and along the south edge to connect to Marina Boulevard. Mitigation Measure BIO-1b requires the construction of a permanent fence along the western and northern edges of the site to restrict access into the sensitive salt marsh habitat located off-site. The measure further recommends that the upland areas between the fence and salt marsh be landscaped with native shrub species to enhance the function of this area as a buffer and improve its habitat value. While staff encourages the use of bay native plant materials, the final choice of

materials should be made as part of an integrated landscape plan factoring in biological, aesthetic, and design considerations, along with water conservation (see Condition G.11).

There has also been an ongoing concern regarding the lack of secondary emergency access to Sierra Point. While this issue is not directly related to the proposed project, it was noted that physical emergency access between Sierra Point and Oyster Point to the south within South San Francisco exists via a maintenance roadway traversing Caltrain's easement. Per Condition R, City staff work with the applicant to see if City emergency access can be formally established across this route.

Grading Permit Review. Sierra Point is a former municipal land fill. As part of its reclamation for development purposes the landfill was closed in conformance with State Title 27, subject to the regulatory oversight of the San Mateo County as LEA (Local Enforcement Agency) and the Regional Water Quality Control Board. Final closure of developed sites within Sierra Point typically consists of the installation of a foundation layer, clay cap and soil cover above. This site was closed on an interim basis, which consists of a layer of clean soil over refuse. Final closure is proposed in conjunction with the proposed development, incorporating a minimum 2-foot thick foundation layer overlain by a one-foot thick clay cap with a minimum 2-foot thick clean soil cover above the cap. The site's clay cap will be tied into adjoining existing segments of the clay cap to eliminate potential water infiltration into refuse.

Grading operations involve removal and stockpiling of the existing clean cover material which will be reused on site. Underneath this layer, approximately 2,500 cubic yards of refuse will be re-spread on the site to eliminate existing refuse peaks and valleys underlying the surface. During the period of grading operations when refuse is exposed, combined Regional Water Quality Control Board/California Integrated Waste Management Board regulations (State Title 27) require that exposed refuse be covered on a daily basis.

Final grading operations will result in the export of approximately 25,000 cubic yards of excess clean soil material from the site. Additionally, a number of trees abut the site along the north, west and southerly boundaries. All mature trees should be protected in place to the extent feasible, and all arborist recommendations to protect adjacent trees during grading operations shall be implemented as included in the conditions of approval. The cluster of trees along the northerly project boundary is located near the boundary of the existing clay cap, and it is unknown how many of these trees will need to be removed in conjunction with installation of the clay cap. Removal will be limited to minimum extent necessary to complete grading operations, and the project landscaping plan will need to account for the replacement of mature trees in this area of the site.

Use Permit. Modifications to the parking regulations are required to allow the use of “universal” parking spaces, to reduce the number of parking spaces required, and to allow parking to be provided “off site” from the office buildings within the parking structure on a separate parcel.

Universal-size parking stalls are 8.5 ft. by 18 ft., a hybrid of the City’s 9 ft. by 18 ft. standard-size spaces and the 8 ft. by 16 ft. compact spaces. As indicated in the attached 12/2/08 memo, universal-size stalls optimize the number of spaces that can be provided within the parking structure by 20 to 100 spaces, so that the size of the parking structure can be minimized.

The project was approved with a minimum of 1,373 parking spaces where 1,461 parking spaces are required at the City’s standard of 1 space per 300 gross sq. ft. of office floor area. The reduction was justified by TDM measures proposed for the project: an on-site shuttle stop providing access to BART and Caltrain, 41 carpool-only parking stalls, 64 spaces in bike racks and on-site shower/changing facilities. Studies indicate that a successful TDM program can reduce commuter trips in excess of 10 percent, while the parking reduction proposed under this request is approximately 6 percent. Additionally, there is growing body of planning research which suggests that an abundance of free parking encourages single occupancy vehicle trips and discourages transit and alternate forms of travel. Sierra Point in general and this site in particular is uniquely served by shuttle service and the Bay Trail which provide alternate means of access.

Required parking must be provided “on-site” which is defined in the Zoning Ordinance as being located on the same lot as the building. Inasmuch as the parking structure which provides much of the required parking is located on a separate parcel, the project as designed does not technically comply with this requirement. TPM-1-08 Condition of Approval C will ensure that the parking structure will be available in perpetuity for the exclusive use of the office buildings.

Variance. While the project has been designed functionally and aesthetically as a unified whole, the site is intended to be subdivided into three parcels, with each building (including the parking structure) located on a separate parcel. This allows the applicant the flexibility to phase the development and improvements and ultimately sell off the buildings separately. The 8-story building and northerly portion of the parking structure would encompass Phase 1, while the 10-story building and remainder of the parking structure constitute Phase 2. Trail improvements around the entire site and landscaping along the entire Marina Boulevard frontage will be installed in conjunction with Phase 1 per Condition K.

The SP-CRO District development standards apply on a lot-by-lot basis and were not designed to accommodate a multiple-parcel project. This creates the need for two Variances in conjunction with the project that would not be required if the project were constructed on a single parcel. The first relates to the 40% lot coverage limit. While the overall project lot coverage is 33%, the lot coverage for proposed Parcel 1 (with the parking structure) is 49%. A Variance is also required

to allow architectural projections on the parking structure to encroach 8 feet into the required 15-foot east side setback adjoining the interior of the site, where BMC Section 17.32.070.A.1.a would allow them to encroach by 3 ft. Please see the attached draft resolution for the supporting findings.

Expiration. Brisbane Municipal Code Section 17.48.010 allows the Planning Commission to specify the term for which Use Permits and Variances are valid, but BMC Section 17.42.060.B limits Design Permit extensions for up to a total of 3 years. Per BMC Section 16.16.270, Tentative Parcel Maps are valid for 2 years and can be extended for 1 year periods. In contrast, California Government Code Section 66452.6 allows tentative maps to be approved for up to 3 years, with extensions of various lengths possible depending upon the circumstances, generally not exceeding a total of 6 years per Section 66452.6(e). In addition, the State Legislature has historically extended the original expiration date of tentative maps during economic downturns. Most recently, Government Code Section 66452.22 was adopted to automatically extend for 2 years all tentative maps that would have expired before January 1, 2012. The City Attorney suggests that the Municipal Code be amended so that expiration of the City's zoning approvals would be consistent with any State extensions of related tentative map approvals, similar to how Planned Development Permits have the same life as tentative maps per Government Code Sections 65863.9 and 66452.12(a).

Attachments:

Draft Resolution DP-2-11/UP-7-11/V-2-11
Project Summary
Applicant's Photos; Site Plans; Office Floor Plans and Elevations; Garage Floor Plans, Elevations and Options; Renderings; Landscape Plans; and Grading Plans
6/27/08 LEED Scorecard
12/2/08 Parking Modification Use Permit Memo from the Opus Group
City Council Resolution No. 2009-14
Planning Commission Resolution DP-5-07/UP-3-08/V-1-08
Planning Commission Resolution TPM-1-08
Planning Commission Resolution ER-1-07
Adopted Mitigation Monitoring and Reporting Program
Planning Commission Minutes for 12/18/08, 1/22/09 & 2/26/09 Meetings
City Council Minutes for 4/20/09 Meeting

Website Links:

Opus Office Center Initial Study/Mitigated Negative Declaration (November 2008):
<http://www.brisbaneca.org/departments/building-and-planning/planning/sierra-point-opus-office>

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Website Links (continued):

Planning Commission Agenda Reports for 12/18/08, 1/22/09 & 2/26/09 Meetings:

<http://www.brisbaneca.org/departments/building-and-planning/planning/sierra-point-opus-office>

City Council Agenda Report for 4/20/09 Meeting:

<http://www.brisbaneca.org/city-council/2009-04-20>

Sierra Point Design Guidelines

<http://www.brisbaneca.org/sites/default/files/uploads/Design%20Guidelines%20001.pdf>

draft
RESOLUTION DP-2-11/UP-7-11/V-2-11

A RESOLUTION OF THE CITY OF BRISBANE
PLANNING COMMISSION EXTENDING THE PREVIOUSLY APPROVED DESIGN PERMIT,
USE PERMIT AND VARIANCE FOR THE SIERRA POINT OFFICE PROJECT

WHEREAS, Don Little, the applicant, applied to the City of Brisbane for extension of the approval of an office project totaling approximately 438,104 square feet in 2 buildings , a 5-level 1,175-space parking structure and 211 surface parking spaces on approximately 8.9 vacant acres located on the northwesterly side of Marina Boulevard, easterly of Highway 101 at Sierra Point, such approval including a design permit and related grading, parking modification use permit, and variance, such extension applications being identified as Design Permit DP-2-11, Use Permit UP-7-11 and Variance V-2-11; and

WHEREAS, on May 26, 2011 the Planning Commission conducted a public hearing of the applications, at which time any person interested in the matter was given an opportunity to be heard; and

WHEREAS, the Planning Commission reviewed and considered the agenda report relating to said applications, the plans and photographs, the written and oral evidence presented to the Planning Commission in support of and in opposition to the applications; and

WHEREAS, the Planning Commission has determined that the proposed project will not have a significant effect on the environment and has adopted a mitigated Negative Declaration via adoption of Resolution ER-1-07; and

WHEREAS, a Mitigated Negative Declaration for the project had been adopted by the Planning Commission on February 26, 2009, and affirmed by the City Council on April 20, 2009.

NOW THEREFORE, based upon the findings set forth herein, the Planning Commission of the City of Brisbane, at its meeting of May 26, 2011, did resolve as follows:

Design Permit Application DP-2-11, Use Permit UP-7-11 and Variance V-2-11 are approved per the conditions of approval attached herein as Exhibit A.

ADOPTED this 26th day of May, 2011, by the following vote:

AYES:
NOES:
ABSENT:

JAMEEL MUNIR
Chairman

ATTEST:

JOHN SWIECKI, Community Development Director

EXHIBIT A

Action Taken: Approve Design Permit DP-2-11, Use Permit UP-7-11 and Variance V-2-11 and recommend that the City Engineer issuance a grading permit, per the agenda report with attachments, via adoption of Resolution DP-2-11/UP-7-11/V-2-11.

Findings:

Design Permit DP-2-11

1. The proposed development is consistent with the General Plan, including the General Plan's land use designation for the site and relevant policies and programs.
2. The project, including 8- and 10-story structures, is consistent with the policies and design objectives of the Sierra Point Combined Site and Architectural Design Guidelines while implementing the City's Council's previous action of transferring an additional 89,815 square feet of buildable area to the site.
3. The proposal maintains a balance of scale, form and proportion, and uses design components that are harmonious and materials and colors that complement the project, and the proposal integrates well with elements of the site plan and of surrounding areas, given the conditions of approval and as detailed in the agenda report.
4. The orientation and location of buildings, structures, open spaces and other features maintain a compatible relationship to adjacent development, as detailed in the agenda report.
5. Where a proposal abuts or is in close proximity to uses other than that proposed, the plan takes into account its effect on and maintains the quality of the other land uses, as detailed in the agenda report.
6. The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking; there is an adequate circulation pattern within the boundaries of the development, and parking facilities are adequately surfaced, landscaped and lit; as detailed in the agenda report with attachments.
7. The proposal promotes alternatives to travel by automobile through the provision of facilities for carpools, pedestrians and bicycles, extension of the Bay Trail, and access to transit via the Sierra Point shuttle to Caltrain and BART.
8. The site provides open areas and landscaping to complement the buildings and structures; landscaping is also used to break up expanses of paved area and provide outdoor areas for the use of employees and visitors alike.

9. Planning Commission review of the grading plan in conjunction with this application complies with the provisions of Municipal Code Sections 15.01.081 & 17.32.220.
10. Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment, as detailed in the agenda report and given the conditions of approval.
11. Provisions have been made to meet the needs of employees for outdoor space, through the provision in that the landscaped a number of landscape patios and sitting areas will be provided adjacent to the office portions of the building.

Use Permit UP-7-11

1. Approval of the use permit is consistent with the 1994 General Plan adopted by the City Council on June 21, 1994, specifically 1994 General Plan Policy 289.
2. Granting of the requested use permit will not be detrimental to the health, safety, morals, comfort and general welfare of persons residing or working in the neighborhood, nor will it be injurious or detrimental to property or improvements in the neighborhood or the general welfare of the City. The use of universal-sized parking stalls within the garage will allow for the most efficient utilization of the parking structure, thereby minimizing the size of the garage. Additionally, the reduction in provided parking will not create adverse impacts, in that opportunities for non-single occupancy vehicle modes of transportation such as shuttles, carpools and bicycles are provided.
3. Strict enforcement of the specified regulation is not required by either present or anticipated future traffic volume or traffic circulation on the site, given the access opportunities via shuttle, carpool and bicycle. Additionally, the provision of universal stalls within the parking garage does not affect the provision of compact and full sized stalls within the surface parking lots on site. As such, the full range of parking options remains available on the site.
4. The granting of the use permit will not result in the parking of vehicles on public streets in such a manner as to interfere with the free flow of traffic on the streets or to create or intensify a shortage of on-street parking spaces, in that a range of full size, compact and universal sized stalls are provided on site. The reduction in number of spaces provided will not impact on street parking as on street parking is not allowed within Sierra Point.

Variance V-2-11

1. The variance shall not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity and district in which the subject property is located. Specifically, the requested lot coverage and architectural encroachment variances result due to the fact that a comprehensive and unified project is underlain by multiple parcels, whereas the identical project design would be fully consistent with zoning requirements if it were constructed on a single parcel. The conditions of approval require that the project be designed and operated as a unified whole, irrespective of property ownership.
2. Because of special circumstances applicable to subject property, specifically the fact that that the project will be constructed on multiple projects instead of a single parcel, the strict application of this title is found to deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classification, specifically to exceed the 40 percent lot coverage for Parcel 1 and to allow architectural projections on the garage to encroach more than 3 feet into the required side yard setback.

Conditions of Approval:

- A. The project shall comply with the mitigation measures set forth in the adopted Mitigated Negative Declaration and adopted Mitigation Monitoring and Reporting Program.
- B. All grading shall be contained on the site and shall comply with the provisions of Brisbane Municipal Code (BMC) Chapter 15.01. A separate grading permit shall be obtained from the City Engineer as required per BMC Chapter 15.01. The approval of the Design Permit shall constitute Planning Commission approval of the proposed grading per BMC Section 15.01.081.
- C. Prior to grading or building permit issuance, plans shall be subject to approval by the San Mateo County Environmental Health Services Division.
- D. Grading plans shall clearly specify trees to be retained and trees to be removed. Trees to be removed shall be minimized to the extent feasible. Trees to remain shall be protected in place shall be surrounded by mesh construction fencing establishing a 5-foot protection zone around each tree trunk. A licensed arborist shall be present during grading and construction operations adjacent to trees to ensure adequate measures are taken for tree protection, and to consult as to the extent of required tree removal along the northerly project boundary during clay cap installation.

- E. Prior to issuance of grading or building permits, project applicant shall incorporate into the project design stormwater site design, source control, and treatment measures to the satisfaction of the City Engineer and in accordance with Provision C.3 of the San Mateo Countywide Municipal Stormwater Permit. All added or replaced roadway surfaces must be managed in accordance with the current municipal stormwater requirements. This includes incorporating site design measures to reduce impervious surfaces and maintain existing vegetation and drainageways, source control measures to address potential pollutant sources, and treatment measures to improve stormwater runoff quality before discharging to the Bay. As such, roadway, sidewalk, and path widths should be minimized to reduce impervious surface area and vegetation, whether in the median or along the sides of roads, sidewalks, or paths, should be designed to provide stormwater quality benefits. Vegetated stormwater treatment measures should be designed in accordance with countywide guidance and address issues associated with infiltrating stormwater runoff on a former landfill. Vegetation should also be selected consistent with Bay Friendly Landscaping Guidelines to minimize irrigation, pesticide, and fertilizer needs.
- F. Prior to grading permit issuance, the applicant shall file a Notice of Intent to comply with the statewide General Permit for Discharges of Storm Water Associated with Construction Activities, and shall prepare a Storm Water Pollution Prevention Plan (SWPPP) for construction activities on the site. The SWPPP shall include all provisions of the Erosion and Sediment Control Plan submitted by the previous applicant. In addition to the regulatory requirements for the SWPPP, the site-specific SWPPP shall include provisions for the minimization of sediment disturbance (i.e., production of turbidity) and release of chemicals to the Bay.
- G. Prior to issuance of a building permit:
1. The site plan shall be revised subject to Community Development Director approval to:
 - a. Include no fewer than 1,373 parking spaces;
 - b. Show that abutting parking bays shall be separated by a planter strip with a minimum 4' wide area clear of vehicular overhang. As an alternate, such parking bays shall be reconfigured to accommodate tree wells every 6-8 spaces;
 - c. Redesign the main (northerly) driveway entrance to include a minimum 4-foot wide median, consistent with the requirements of the Sierra Point Design Guidelines.
 2. Building elevations shall clearly specify how all roof-mounted equipment will be screened, and all such screening shall be architecturally integral with the buildings.

3. Building elevations shall be revised to incorporate a trellis/canopy element at all building entrances subject to Community Development Director approval.
4. The westerly garage elevation shall be revised to incorporate trellis/popout elements at the northwesterly corner, center and southwesterly corners to break the garage plane and roofline, subject to approval by the Community Development Director. A darker accent shall also be applied to the upper level of the garage to help further deemphasize its appearance. Vehicular and pedestrian entries shall incorporate architectural enhancements to promote wayfinding.
5. Final specifications regarding project materials, colors and finishes shall be subject to Community Development Director approval.
6. The applicant shall demonstrate compliance with the City's Green Building Requirements (Municipal Code Chapter 15.80) to the satisfaction of the City's Green Building Compliance Official as defined in the City Municipal Code.
7. The applicant shall demonstrate adequate ventilation of parking structure to the satisfaction of the Building Official, including exterior exhaust fan termination as applicable.
8. Tentative Parcel Map TPM-1-08 shall be recorded.
9. The applicant shall obtain BCDC approval of Bay Trail improvement plans, including but not limited to trail alignment and surfacing, benches, lighting and amenities such as interpretational signage and/or public art. Per the Sierra Point Design Guidelines, a minimum 15-foot wide planting area shall be provided between the public parking area and trail alignment.
10. Easements as deemed necessary by the Community Development Director in a form acceptable to the City Attorney shall be recorded for the provision of public access and use of the Bay Trail and related improvements in perpetuity, including public use of designated public trail access parking spaces.
11. Detailed water-efficient landscaping and irrigation plans shall be submitted for approval by the Community Development Director. The final landscaping plans shall be consistent with the plant list established in the Sierra Point Design Guidelines and incorporate the following:
 - a. vegetated swales consistent with the stormwater controls for the site;
 - b. berming or hedging to screen parking areas adjacent to Sierra Point Parkway and Shoreline Court;
 - c. replacement of mature trees removed along the northerly project boundary to accommodate installation of the final clay cap;
 - d. columnar trees along the west side of parking structure to help screen and visually soften the appearance of this structure;
 - e. details regarding hardscape, lighting, fencing, street furniture and employee gathering areas, consistent with the Sierra Point Design Guidelines;

- f. details regarding how access to the emergency vehicle roadway along the north edge of the project will be restricted;
 - g. an integrated pest management plan prepared by a qualified professional acceptable to the City of Brisbane to eliminate fertilizer and/or pesticide runoff into the Bay.
 - 12. The property owner shall enter into a standard landscape maintenance agreement with the City to the satisfaction of the City Attorney.
 - 13. Exterior lighting plans shall be subject to Community Development and Police Department review and approval, and shall be consistent with the Sierra Point Design Guidelines.
 - 14. The plans submitted for a building permit shall comply with the requirements of the Brisbane Municipal Code, the California Fire Code, California Building Code and the California Code of Regulations.
 - 15. The applicant shall consult with the South San Francisco Scavenger Company to assure that the trash enclosure(s) shall be of sufficient size to accommodate recycling receptacles, as well as trash dumpsters. Plans submitted for the building permit shall include trash enclosure details, relating its appearance to that of the building to the satisfaction of the Community Development Director.
 - 16. Centralized mail facilities shall be provided to the specifications of the U.S. Postal Service.
- H. Prior to issuance of a Certificate of Occupancy, applicant shall submit for approval by the City Engineer an operation and maintenance plan for on-site stormwater treatment measures.
- I. Prior to issuance of a Certificate of Occupancy, property owner shall enter into and cause to be recorded on the property deed a Stormwater Treatment Measures Operation and Maintenance Agreement, which will serve as a signed statement by the property owner accepting responsibility for operation and maintenance of stormwater treatment measures until such time as the responsibility is legally transferred to another person or entity.
- J. Prior to September 1 of each year and until such time as a Certificate of Occupancy is issued, applicant shall submit a revised Erosion Control Plan detailing measures that will be implemented by October 15 to prevent sediment discharge in stormwater runoff during the rainy season.
- K. Any project phasing shall substantially comply with the phasing plan presented to the Planning Commission on December 18, 2008, with the exception that landscaped improvements along the entire Marina Boulevard frontage shall be included within Phase 1 of the development. Phasing shall be designed to ensure that Phase 1 can continue to

- operate in normal fashion during Phase 2 construction so as not to impact adjacent properties.
- L. The required parking spaces shall not be used or converted to any other use that would impair their basic use as parking for motor vehicles per BMC Section 17.34.020.A.
 - M. No signage is approved as part of this permit. A Sign Permit shall be obtained prior to the installation of any signs not otherwise exempt by the Municipal Code.
 - N. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.
 - O. The applicant agrees to indemnify, defend and hold the City and its officers, officials, boards, commissions, employees and volunteers harmless from and against any claim, action or proceeding brought by any third party to attack, set aside, modify, or annul the approval, permit or other entitlement given to the applicant, or any of the proceedings, acts or determinations taken, done or made prior to the granting of such approval, permit or entitlement.
 - P. Application for a Building Permit (via submittal of 5 sets of plans and payment of plan check fees) for the proposed improvements shall be made, and the improvements shall be completed to the satisfaction of the Building Official prior to granting of a Certificate of Occupancy.
 - Q. An encroachment permit shall be obtained prior to any work within the public right-of-way.
 - R. Staff and the applicant shall make a good faith effort to obtain emergency access vehicular rights for City of Brisbane emergency vehicles over the existing emergency access roadway at the south end of Sierra Point (within the City of South San Francisco).
 - S. The applicant shall work with the City Engineer and Caltrans to restripe the northbound Sierra Point Parkway offramp from Highway 101 to convert the existing through/left turn lane to a shared through/left/right turn lane.
 - T. Upon request of the applicant, the City Engineer will issue a "will serve" letter valid for that period of time the project is active, reserving the water supply for the project as determined in the Water Supply Assessment, subject to compliance with the mitigation measures set forth in the Mitigated Negative Declaration.

- U. Design Permit DP-2-11, Use Permit UP-7-11 and Variance V-2-11 shall expire on April 20, 2013, unless the State Legislature extends tentative map approvals (including Tentative Parcel Map TPM-1-08) further and the Brisbane Municipal Code is amended to extend zoning approvals concurrently with tentative map approvals.
- V. The applicant shall have the option to either:
- 1.) install 4,500 square feet of photovoltaic panels on the north half of the garage roof and decorative trellises on the south half of the garage roof; or
 - 2.) install wind power equipment having the capacity of generating electrical power at least equivalent to the solar panels described in Option 1, subject to approval as to the capacity, design and location of such equipment by the Planning Commission; or
 - 3.) install decorative trellises on both the north and south halves of the garage roof and make a cash contribution in the amount of \$360,000 to the City of Brisbane to fund off-site renewable energy projects, as determined by the City.

In any case, the parking structure shall be pre-plumbed to accommodate future installation of solar panels on the garage roof to the maximum extent feasible.

Project Summary

General Plan: Sierra Point Commercial/Retail/Office (SP C/R/O)

Zoning: Sierra Point Commercial (SP-CRO) District

	<u>Standard</u>	<u>Parking Garage Parcel 1</u>	<u>8-Story Bldg. Parcel 2</u>	<u>10-Story Bldg. Parcel 3</u>	<u>Total</u>
Lot Area:	43,560 sq. ft.	151,945 sq. ft.	146,567 sq. ft.	87,727 sq. ft.	386,239 sq. ft.
Lot Coverage:	40% (154,496 sq. ft.)	49% (74,609 sq. ft.)	18% (25,860 sq. ft.)	29% (25,860 sq. ft.)	33% (126,329 sq. ft.)
Setbacks—					
Front:	25 ft.	(no frontage)	272 ft. (rear)	97+ ft.	n/a
North Side:	15 ft.	118 ft.	41+/- ft. (front)	23+/- ft.	n/a
East Side:	15 ft.	7 ft.	206+/- ft.	80+/- ft.	n/a
South Side:	15 ft.	34+/- ft. (rear)	23+/- ft.	31+/- ft.	n/a
West Side:	15 ft.	59+/- ft.	116+/- ft.	38+/- ft.	n/a
Height:	n/a	5 levels (54.5 ft.)	8 stories (125 ft.)	10 stories (152 ft.)	n/a
Floor Area:	n/a	377,515 sq. ft.	194,014 sq. ft.	244,090 sq. ft.	815,619 sq. ft.
Floor Area Ratio:	4.8	2.48	1.32	2.78	2.11
Parking Spaces—					
Required:	1,461 (50% full size)	n/a	647	814	n/a
Approved:		=1,175* **	=131*	=80*	1,373***
Landscaping (including open areas):	25%	45% (67,975 sq. ft.)	40% (59,164 sq. ft.)	40% 34,803 sq. ft.)	42% (161,942 sq.ft.)

* The number of spaces may be reduced through the construction plan process, but the total shall not be less than 1,373.

** The garage is designed to be constructed in 2 phases, with 510 spaces nearest the 8-story building and 665 nearest the 10-story building.

*** 1,175 "universal," 14 compact, 25 accessible



G.I.19.



G1.20

12/05/08
09/21/07

Existing Site Photo



Hoover Associates

A3-1

scale: 1"=40'-0"

OPUS CENTER SIERRA POINT

Brisbane, California



a Development of Opus West Corporation



scale: 1"=100'-0"

Overall Site Plan

Hoover Associates



A3

OPUS CENTER SIERRA POINT

Brisbane, California

SITE PLAN

SITE AREA:	386,239 SF
BUILDING AREA:	438,104 SF
F.A.R.	1.13
COVERAGE:	33%
OPEN SPACE:	42%
(REQD OPEN SPACE:	25%)

12/05/08
9/21/07

G.1.21



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G.1.22.

12/05/08
09/21/07

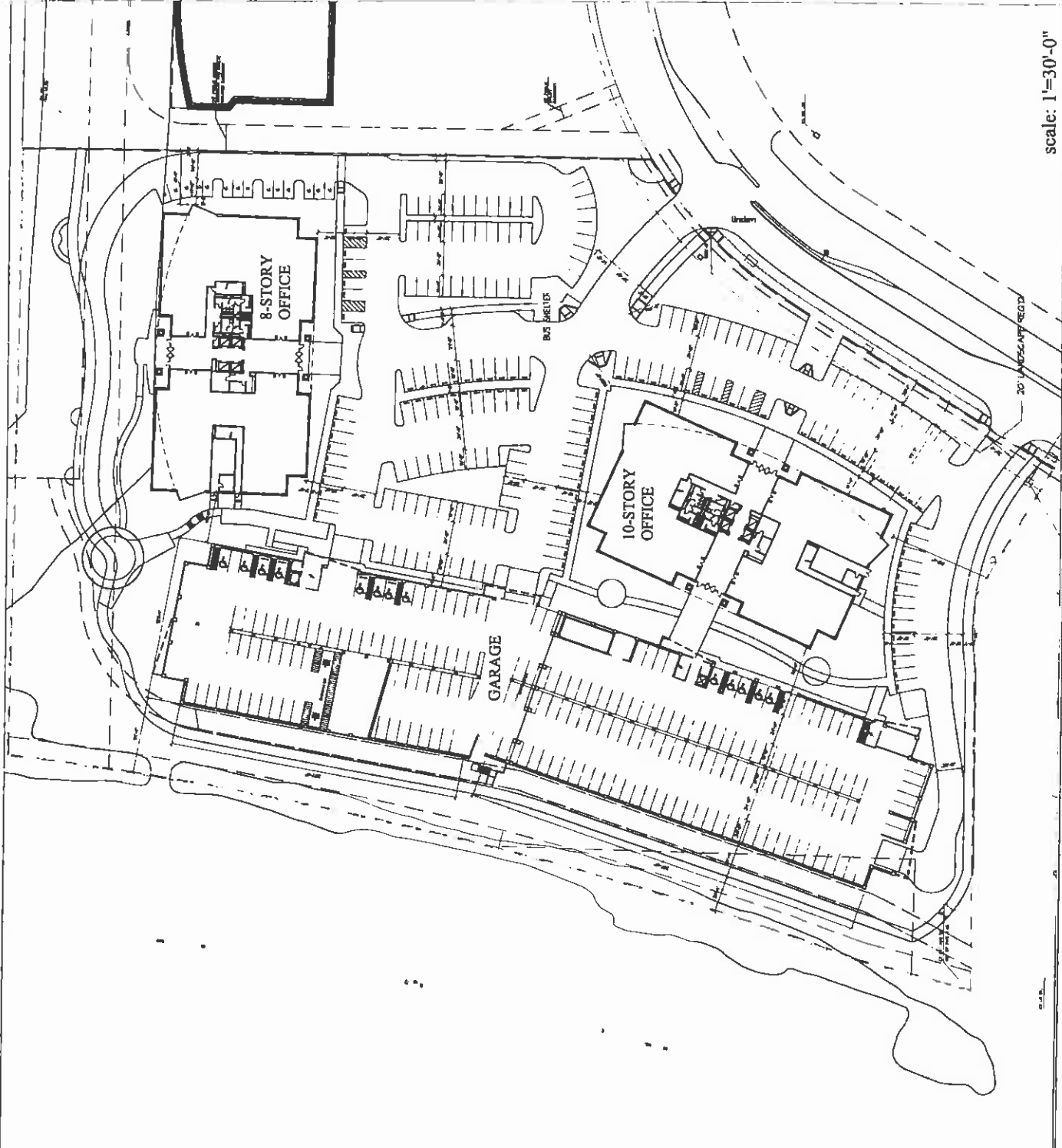
OPUS.
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OPUS CENTER SIERRA POINT
Brisbane, California

scale: 1"=30'-0"



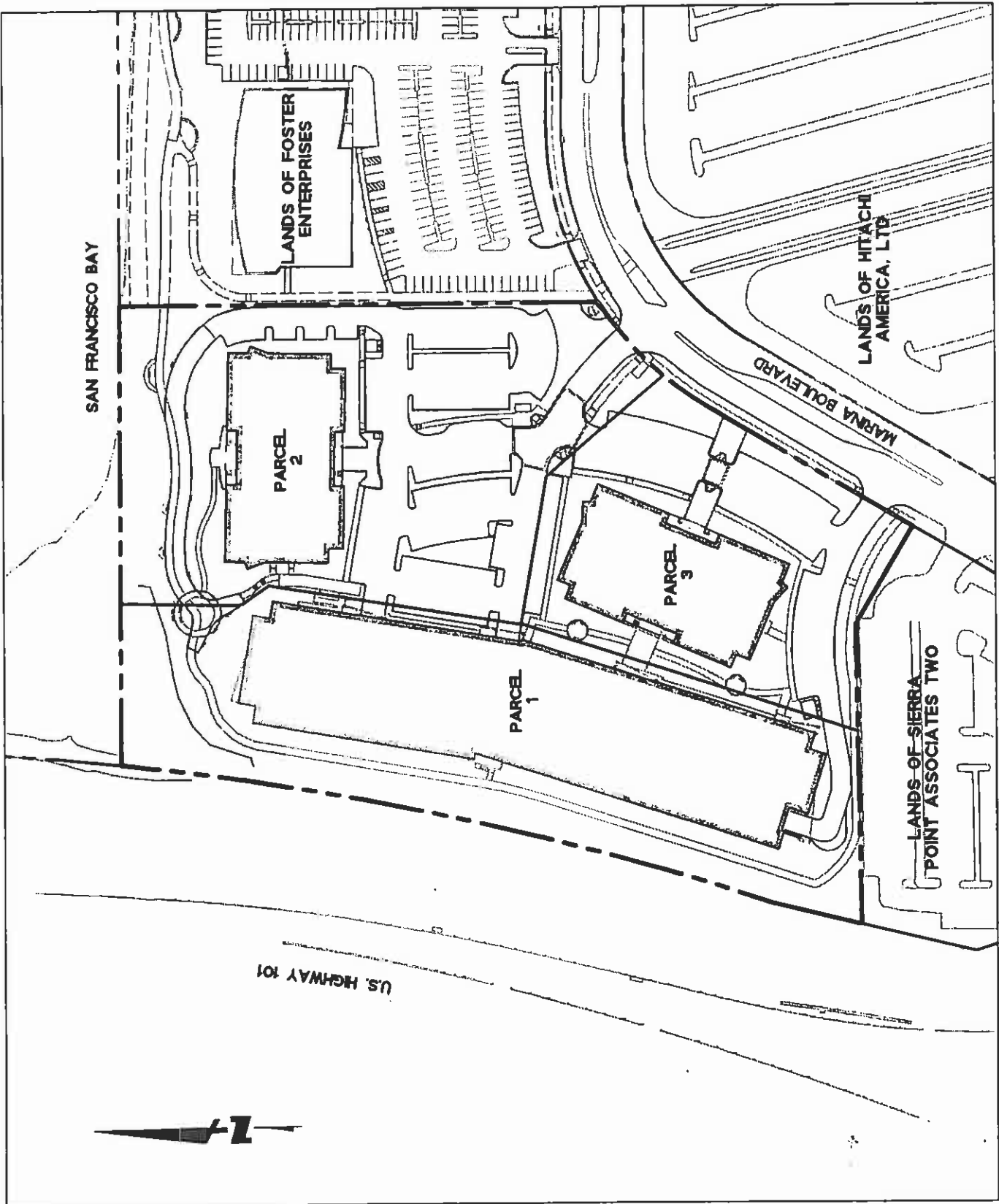
Site Plan
Hoover Associates
A4



STATISTICS

BLDG AREA	
10-STORY OFFICE	25,860 sf
8-STORY OFFICE	25,860 sf
TOTAL BLDG AREA	51,720 sf
PARKING	
ON GRADE	211 (INCLUDES 14 COMPACT STALLS)
GARAGE PKG	1,175
TOTAL	1,386 (INCLUDES 25 CURS HANDICAP STALLS)

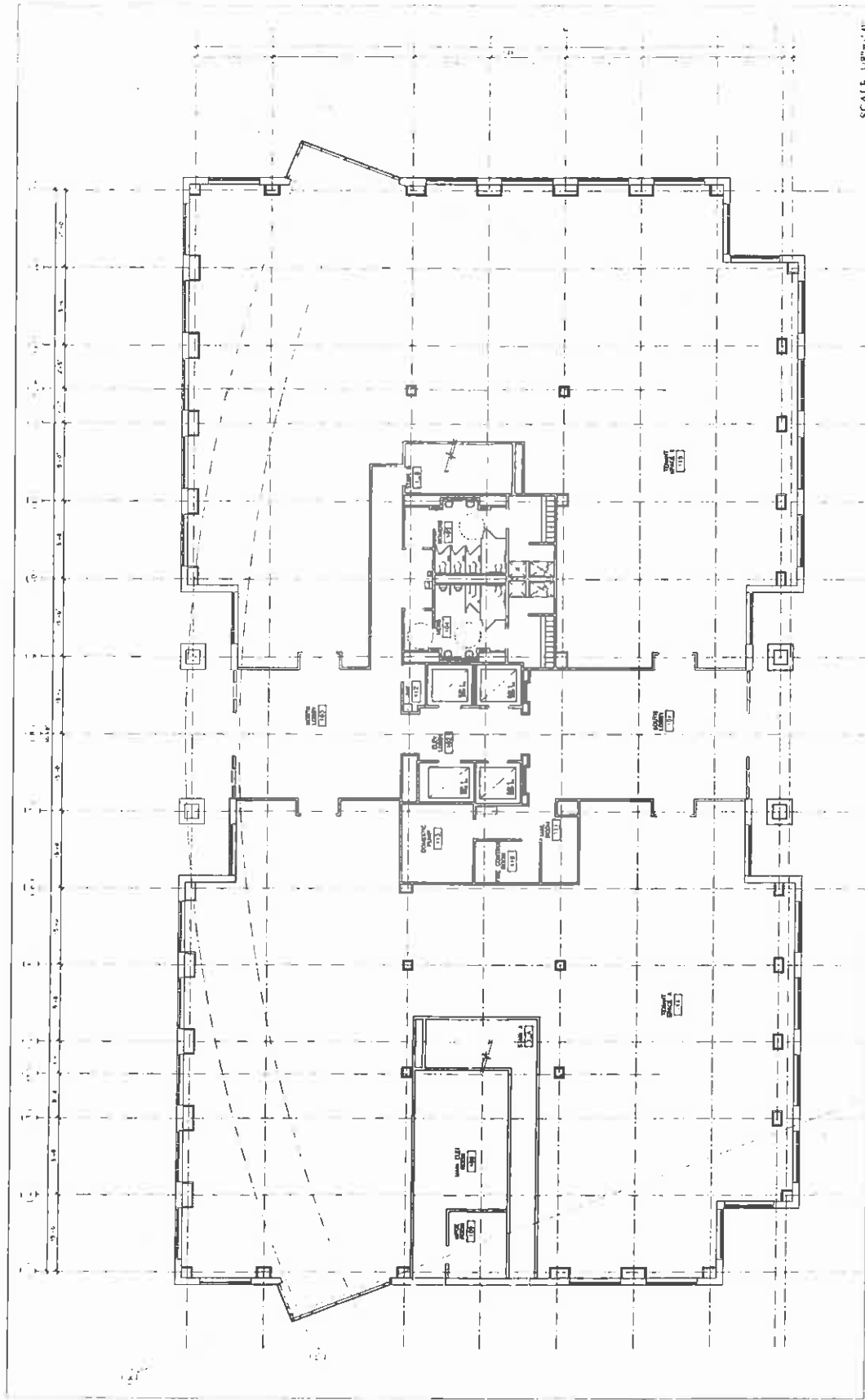
TOTAL 638,100 SF



SITE PLAN
SCALE: 1" = 100'



Gil.24.



SCALE: 1/8" = 1'-0"
1st Floor

G.1.25.

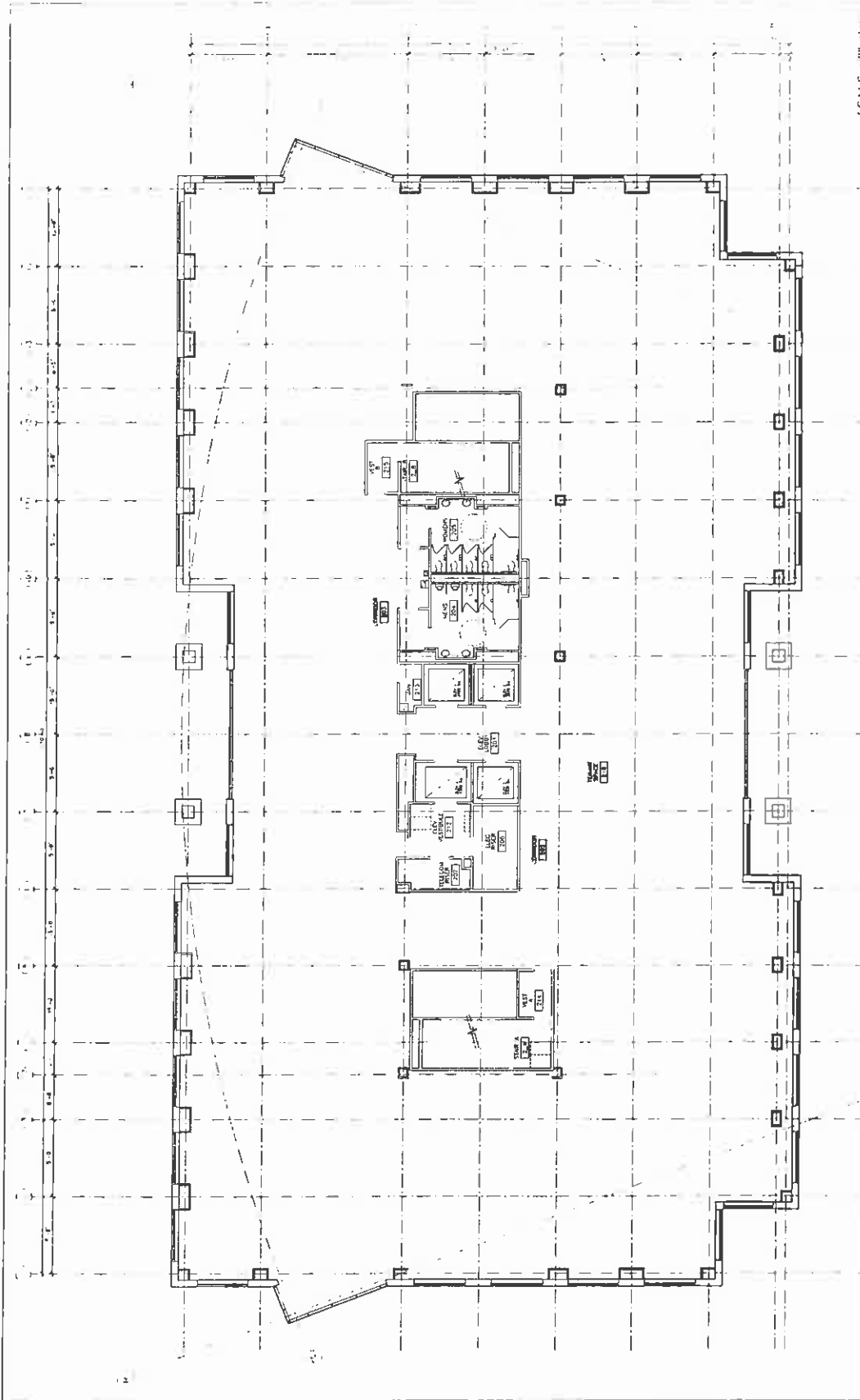
12/05/08
09/21/07

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OPUS CENTER SIERRA POINT
Brisbane, California

Office Floor Plans
Hoover Associates
A5.1

NORTH



SCALE 1/8" = 1'-0"
2nd Floor

G.1.26.

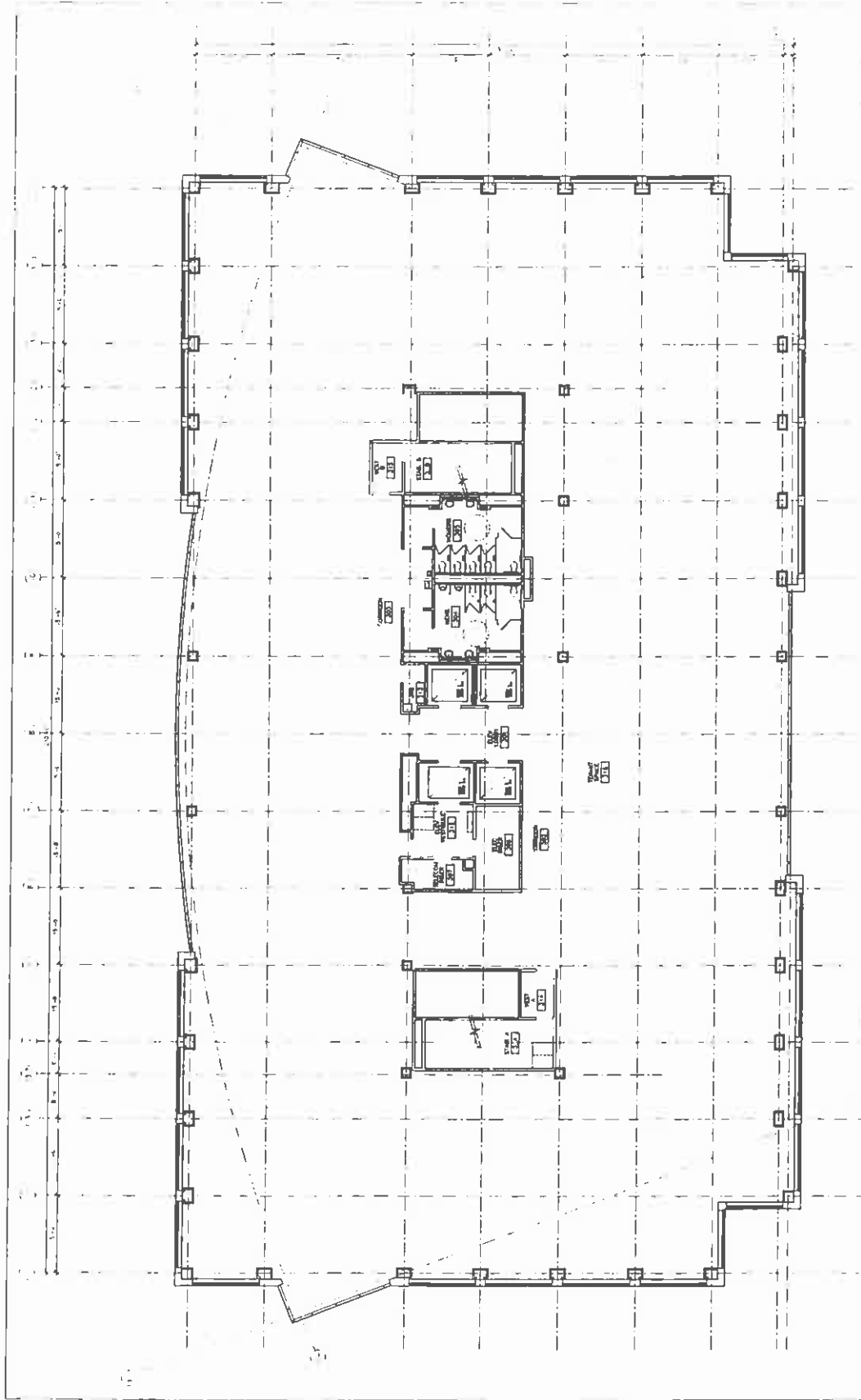
12/05/08
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OPUS CENTER SIERRA POINT
Brisbane, California

Office Floor Plans
Hoover Associates
A5.2



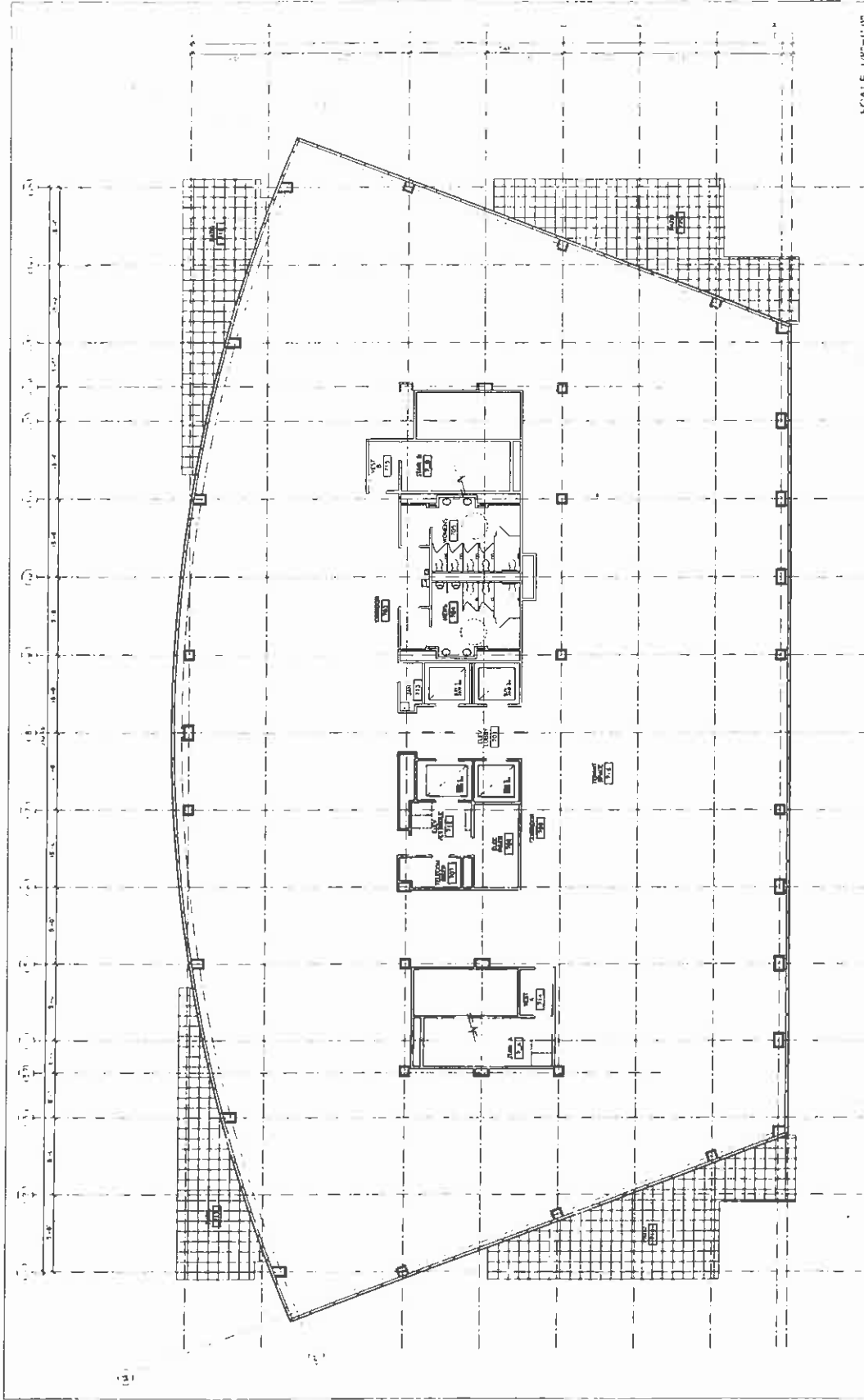


SCALE 1/8" = 1'-0"
 3rd-6th Floor (8-Story Office)
 3rd-8th Floor (10-Story Office)



G.1.27.

12/05/08
 09/21/07



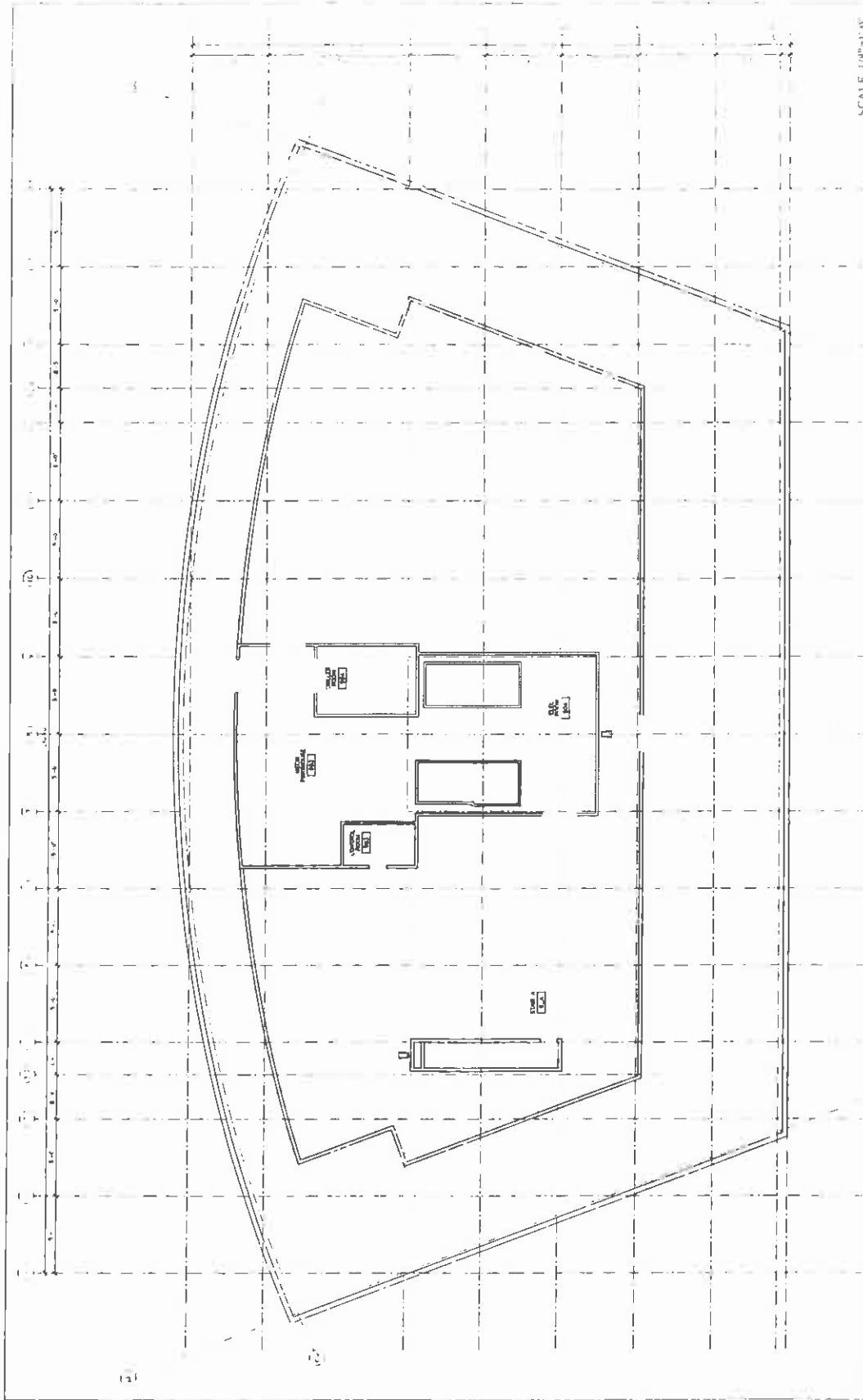
7th/8th Floor (8-Story Office)
 9th/10th Floor (10-Story Office)

SCALE 1/8" = 1'-0"



G.1.28

12/05/08
 09/21/07



Roof Floor

SCALE 1/8"=1'-0"

12/05/08
09/21/07



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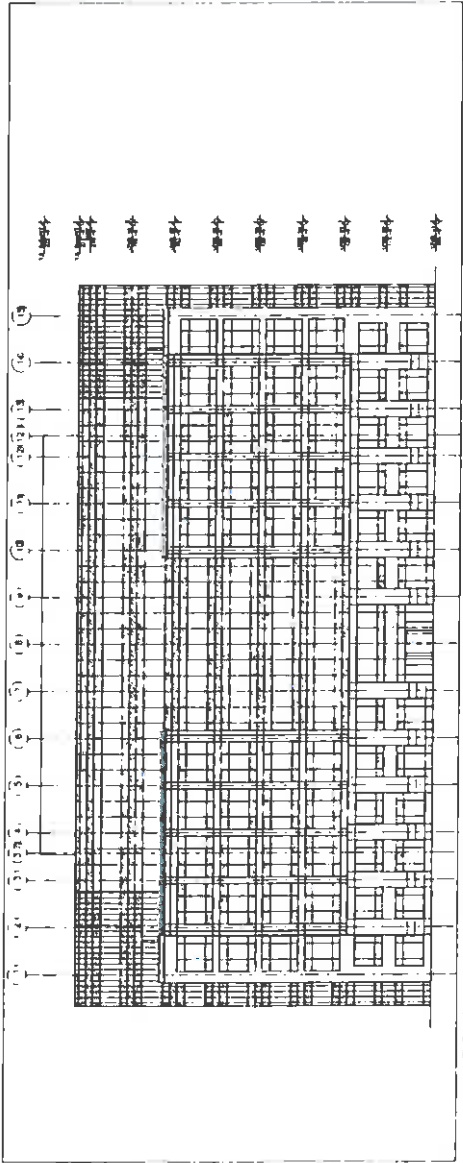
Office Floor Plans



Hoover Associates

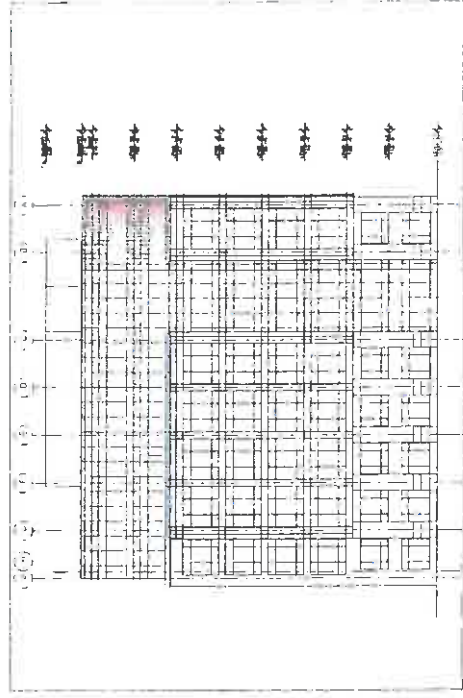
A5.5

G.1.29.



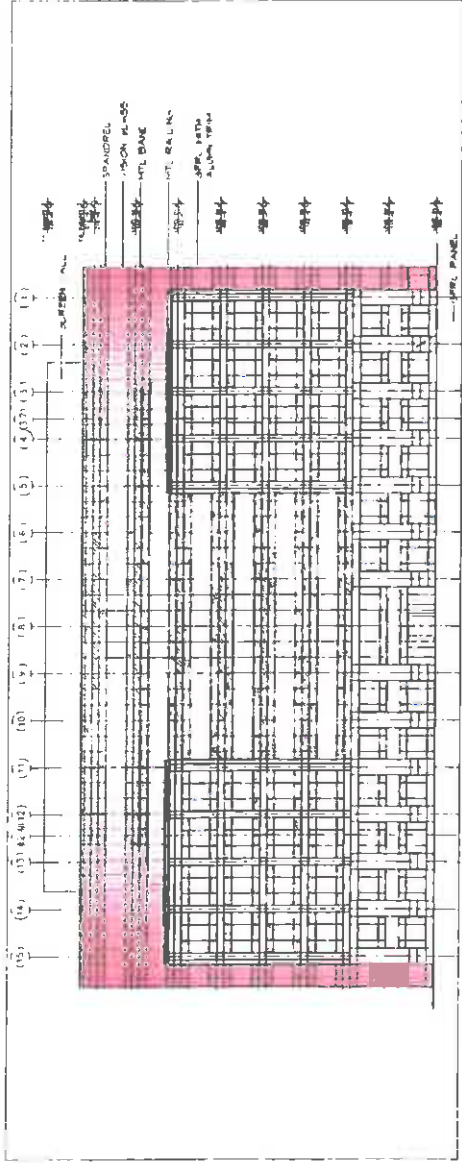
SOUTH ELEVATION

SCALE 1/16"=1'-0"



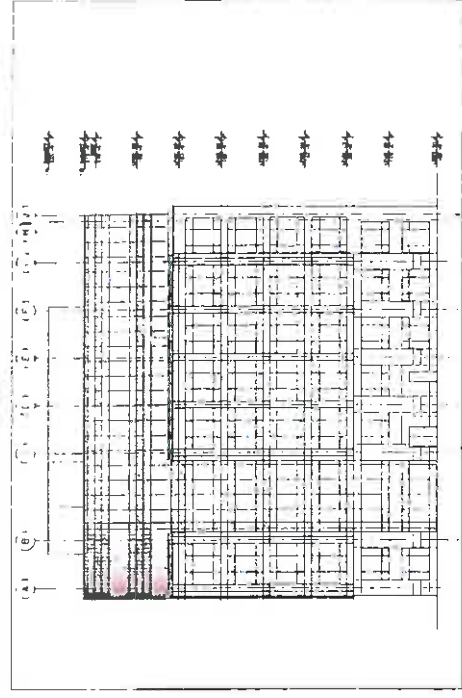
WEST ELEVATION

SCALE 1/16"=1'-0"



NORTH ELEVATION

SCALE 1/16"=1'-0"



EAST ELEVATION

SCALE 1/16"=1'-0"

G.1.30.

12/05/08
9/21/07

OPUS[®]
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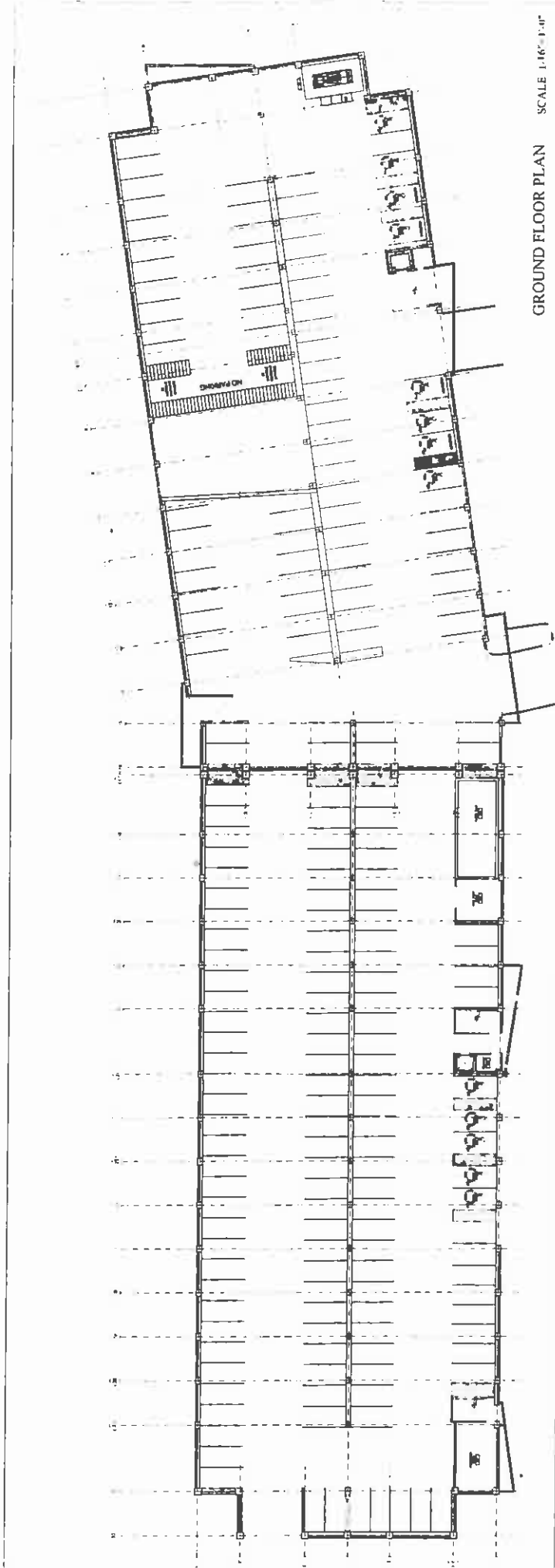
OPUS CENTER SIERRA POINT
Brisbane, California



Hoover Associates
A6.1

**8-Story Office Elevator
(10-Story Office Sim)**

G.I. 31



GROUND FLOOR PLAN SCALE 1/4" = 1'-0"

12/05/08
09/21/07

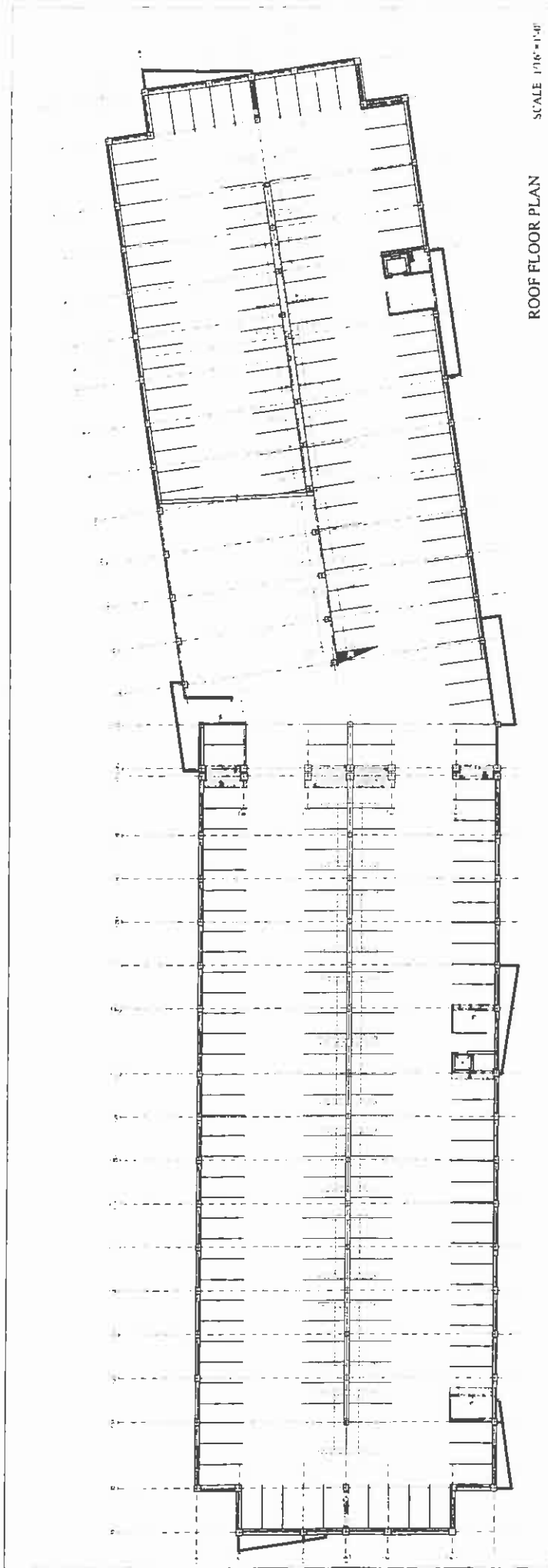
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OPUS CENTER SIERRA POINT
Brisbane, California

Garage Plans
Hoover Associates
A7.1



G.1.32



12/05/08
09/21/07

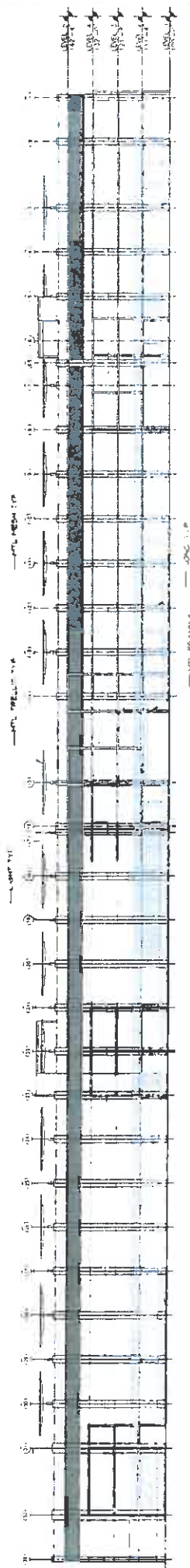
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OPUS CENTER SIERRA POINT
Brisbane, California



Garage Plans

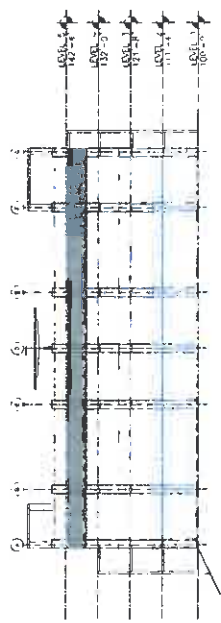
Hoover Associates
A7.2



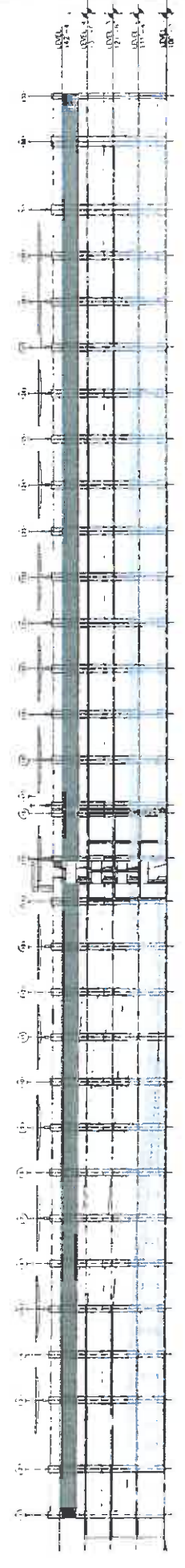
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

SCALE 1/16"=1'-0"

G.1.33

12/05/08
09/21/07

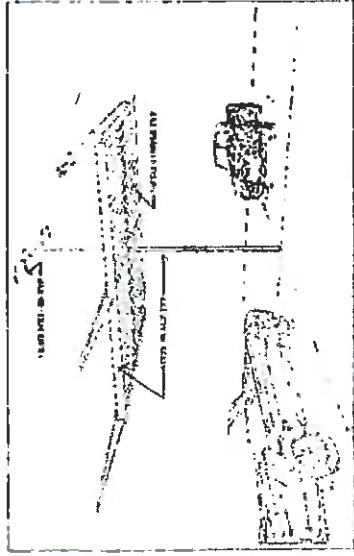
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OPUS CENTER SIERRA POINT
Brisbane, California

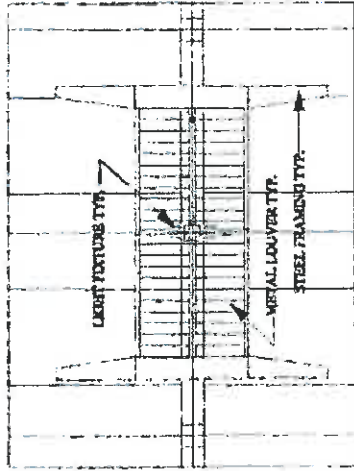
Garage Elevations
Hoover Associates
A7.3



Opus Center Sierra Point P3 Parking Garage Roof – Option 1

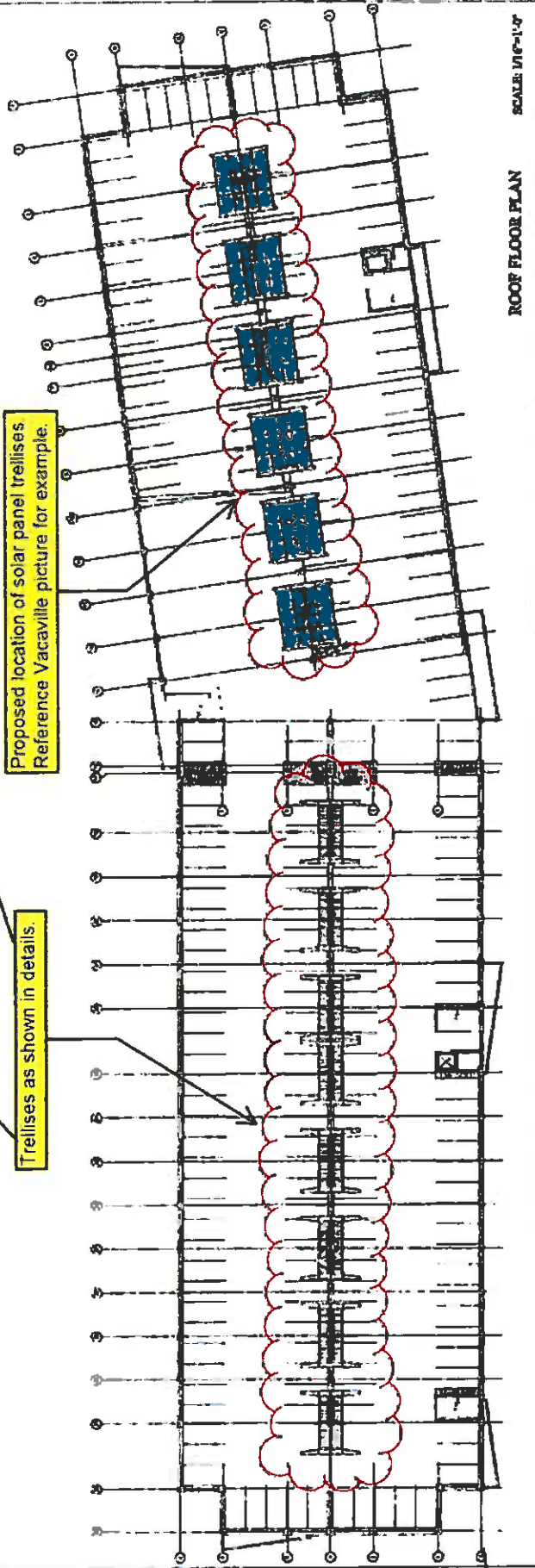


PERSPECTIVE



TRELLIS PLAN

SCALE: 1/4"=1'-0"



ROOF FLOOR PLAN SCALE: 1/8"=1'-0"

G.I. 34

01/09/09
09/21/07

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Brisbane, California

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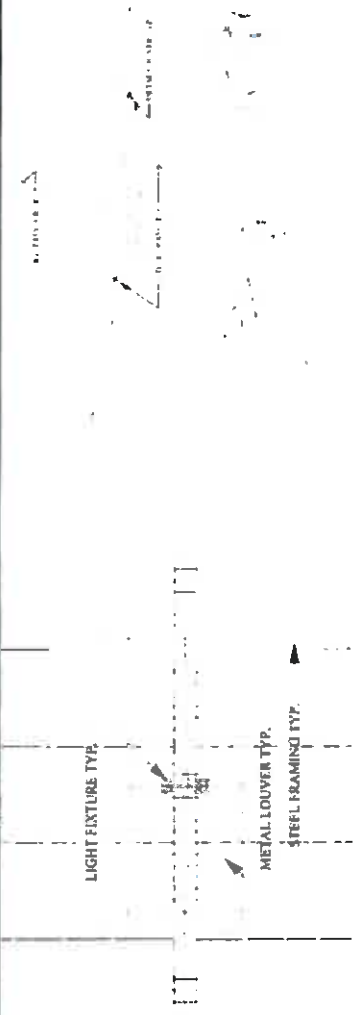
Option 1 Garage Plans
Hoover Associates
A7.2

Solar Panel Trellis Example

The following picture was taken in Vacaville, CA on 2/4/09. This picture shows an example of the type of solar panel trellises proposed on top of the Opus Center Sierra Point parking garage.



Parking Garage Roof - Option 2



TRUSS PLAN

SCALE: 1/4" = 1'-0"

PERSPECTIVE



ROOF FLOOR PLAN

SCALE: 1/8" = 1'-0"

01/09/09
09/21/07



OPUS CENTER SIERRA POINT
Brisbane, California

Option 2 Garage Plans

Hoover Associates
A7.2



G1.36

Rendering – view from street



G.1.37.





Rendering – freeway view looking south



Rendering – view from Bay

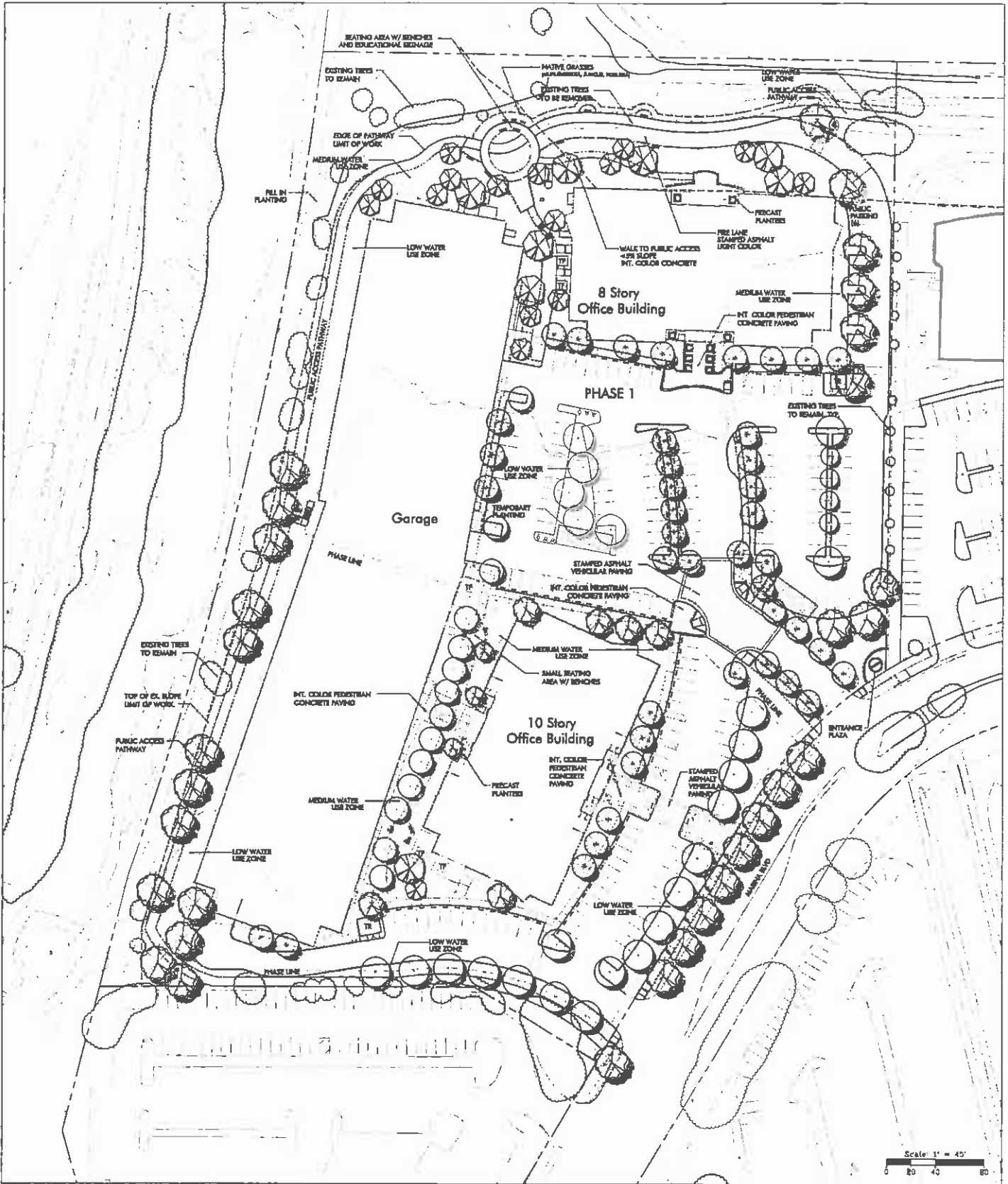


Rendering – view looking west on trail



Rendering – view from Bay





Overall Schematic Landscape Plan

G.1.44.

L-1

The Guzzardo Partnership Inc.

PLANT PALETTE

TREES								
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	HT. AT MATURITY	TOLERANCES	DEC/EV	WWCOLS
AES CAL	*	<i>Aesculus x carnea</i>	Red Horsechestnut		to 40'	D/W/S	DEC	M
ARB MAR	*	<i>Arbutus 'Marina'</i>	Strawberry Tree		to 40'	D/W/S	EV	L
CER CAN	*	<i>Cercis occidentalis</i>	Western Redbud		10'-18'	D/S	DEC	VL
COR FLO	*	<i>Cornus nuttallii 'Starlight'</i>	Flowering Dogwood		10'-18'	D/S	DEC	M
CRA LAE	*	<i>Crataegus laevigata</i>	English Hawthorn		18'-25'	D/W/S	DEC	M
EUC SPA	*	<i>Eucalyptus apiculata</i>	Narrow-leaf Gumtree	multi	20'-30'	D/S	EV	L
LAU SAR	*	<i>Laurus n. 'Sarotoga'</i>	Sweet Bay		20'-35'	D/W/S	EV	L
LOP CON	*	<i>Lophoclemon confertus</i>	Brisbane box		30'-45'	D/S	EV	M
MAG SOU	*	<i>Magnolia s. 'Lilliputian'</i>	Saucer Magnolia	multi	to 25'	S	DEC	M
MEL OVI	*	<i>Melaleuca quinquenervia</i>	Cajuput Tree	multi	20'-40'	D/W/S	EV	L
MET EXC	*	<i>Metrosideros excelsus</i>	New Zealand Christmas Tree		to 30'	D/W/S	EV	L
MYO LAE	*	<i>Myoporum laetum</i>	NCN		to 30'	N/S	EV	L
PIN NIG	*	<i>Pinus nigra</i>	Australian Black Pine		40'-60'	D/W/S	EV	M
PLA AGE	*	<i>Platanus x acerifolia</i>	London Plane Tree		40'-80'	D/W/S	DEC	L
PRU CAR	*	<i>Prunus caroliniana</i>	Carolina Cherry Laurel		20'-30'	D/W/S	EV	L
PYR CAL	*	<i>Pyrus c. 'Whitehouse'</i>	Flowering Pear		to 50'	D/W/S	DEC	M
SEQ SEM	*	<i>Sequoia sempervirens</i>	Coast Redwood		70'-90'	D/W/S	EV	H
SOR AUC	*	<i>Sorbus aucuparia</i>	European Mountain Ash		to 20'-25'	D/W/S	EV	M
UMB CAL	*	<i>Umbellularia californica</i>	California Bay		to 20'-25'	D/W/S	EV	M
* 24" Box Standard Unless Noted Otherwise on Plans								
SHRUBS								
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	HT. AT MATURITY	TOLERANCES	DEC/EV	WWCOLS
1	5 gal	<i>Abelia 'Edward Goucher'</i>	Glossy Abelia	36" O.C.	3'-5'	D/W/S	Semi EV	M
2	5 gal	<i>Acacia longifolia</i>	Sydney Golden Wattle	72" O.C.	to 20'	D/W/S	EV	L
3	1 gal	<i>Acanthus mollis</i>	Bears Breech	30" O.C.	4'-5'	D	DEC	M
4	5 gal	<i>Agapanthus orientalis</i>	Lily of the Nile	24" O.C.	4'-5'	D/S	EV	M
5	5 gal	<i>Abutilon hybrid 'Moanchimes'</i>	Chinese Bellflower	42" O.C.	8'-10'	D/S	EV	M
6	5 gal	<i>Atriplex canescens</i>	Four-wing Saltbush	42" O.C.	3'-6'	D/W/S	EV	VL
7	5 gal	<i>Buxus m. j. 'Green Beauty'</i>	Japanese Boxwood	24" O.C.	to 8'	D/S	EV	M
8	5 gal	<i>Ceanothus 'Julia Phelps'</i>	Wild Lilac	48" O.C.	4'-7'	D/W/S	EV	L
9	5 gal	<i>Cistus salvifolius</i>	Sageleaf Rockrose	48" O.C.	to 2'	D/W/S	EV	L
10	5 gal	<i>Coprosma repens</i>	Mirror Plant	48" O.C.	to 10'	D/W/S	EV	M
11	5 gal	<i>Cotoneaster lacteus</i>	NCN	72" O.C.	to 8'	D/W/S	EV	L
12	5 gal	<i>Clivia miniata</i>	Kaffir Lily	15" O.C.	to 2'	-	EV	M
13	1 gal	<i>Crocasmia h. 'Lucifer'</i>	Montbretia	18" O.C.	to 4'	-	EV	L
14	15 gal	<i>Dicksonia antarctica</i>	Tasmanian Tree Fern	72" O.C.	to 15'	D/S	Semi EV	H
15	5 gal	<i>Dielsia vegeia</i>	Fortnight Lily	30" O.C.	to 3'		EV	L
16	1 gal	<i>Echium fastuosum</i>	Pride of Madiera	72" O.C.	5'-8'	D/W/S	DEC	L
17	5 gal	<i>Escallonia r. 'C. F. Ball'</i>	Escallonia	30" O.C.	5'-8'	D/W/S	EV	M
18	5 gal	<i>Euphorbia c. 'Wulfenii'</i>	Euphorbia	30" O.C.	to 4'	D/S	EV	L
19	5 gal	<i>Fejofa sellowiana</i>	Pineapple guava	48" O.C.	18'-25'	D/S	EV	L
20	5 gal	<i>Griselinia littoralis</i>	Griselinia	42" O.C.	to 10'	D/W	EV	M
21	5 gal	<i>Hebe 'Laka'</i>	NCN	30" O.C.	to 3'	D/S	EV	M
22	1 gal	<i>Hemerocallis hybrida</i>	Evergreen Day Lily	18" O.C.	2'-4'	D/S	EV	M
23	1 gal	<i>Juncus patens</i>	Wire Grass	42" O.C.	2'		EV	?
24	1 gal	<i>Koeleria macrantha</i>	Junegrass	24" O.C.	1'		DEC	?
25	5 gal	<i>Lavatera assurgentiflora</i>	Lavatera	48" O.C.	5'-10'	D/S	EV	L
26	1 gal	<i>Leonotis leonurus</i>	Lions Tail	48" O.C.	4'-6'	D/W/S	EV	L
27	15 gal	<i>Ligustrum j. 'Taxanum'</i>	Japanese Privet	30" O.C.	8'-10'	W/S	EV	M
28	5 gal	<i>Metaleuca nesophila</i>	Pink Metaleuca	72" O.C.	15'-20'	D/W/S	EV	L
29	1 gal	<i>Miscanthus transamoyianensis</i>	Evergreen Miscanthus	42" O.C.	3'-4'	D/W/S	EV	?
30	1 gal	<i>Muhlenbergia rigens</i>	Deer Grass	42" O.C.	3'		DEC	L
31	5 gal	<i>Nephrolepis cordifolia</i>	Southern Sword Fern	24" O.C.	2'-3'	D/S	Semi EV	M
32	5 gal	<i>Phormium variegatum</i>	New Zealand Flax	36" O.C.	6'-8'	D/W/S	EV	L
33	5 gal	<i>Pittosporum tobira</i>	Tobira	36" O.C.	6'-15'	D/W/S	EV	L
34	5 gal	<i>Pittosporum l. 'Variegata'</i>	Variegated Pittosporum	30" O.C.	2'-3'	D/W/S	EV	L
35	5 gal	<i>Pittosporum l. 'Wheeler's Dwarf'</i>	Wheeler's Dwarf Pittosporum	24" O.C.	2'-3'	D/W/S	EV	M
36	15 gal	<i>Prunus c. 'Compacta'</i>	Carolina Cherry Laurel	72" O.C.	10'-12'	D/W/S	EV	L
37	15 gal	<i>Prunus laurocerasus</i>	English Laurel	72" O.C.	15'-30'	D/S	EV	M
38	5 gal	<i>Rhamnus californica</i>	Coffeeberry	48" O.C.	40'-50'	D/W/S	EV	L
39	5 gal	<i>Rhopilepis indica 'Clara'</i>	India Hawthorn	24" O.C.	3'-5'	D/W/S	EV	L
40	5 gal	<i>Rosa rugosa</i>	Romance Rose	48" O.C.	3'-6'	D/W/S	DEC	M
41	5 gal	<i>Rosmarinus a. 'Blue Spires'</i>	Upright Rosemary	36" O.C.	5'-6'	D/W/S	EV	L
42	1 gal	<i>Stipa gigantea</i>	Giant Feather Grass	24" O.C.	to 6'	D/W/S	EV	?
43	1 gal	<i>Teucrium chamosdrys</i>	Germander	18" O.C.	to 1'	D/W/S	EV	L
44	5 gal	<i>Tibouchina urvilleana</i>	Princess Flower	72" O.C.	5'-18'	D/W/S	EV	M
45	5 gal	<i>Westringia fruticosa</i>	Coast Rosemary	30" O.C.	3'-6'	D/W/S	EV	L

GROUNDCOVERS								
KEY	SIZE	BOTANICAL NAME	COMMON NAME	SPACING	HT. AT MATURITY	TOLERANCES	DEC/EV	WWCOLS
BC	1 gal	<i>Bergenia crassifolia</i>	Winter-blooming Bergenia	15" O.C.	to 1'	-	EV	M
CG	1 gal	<i>Ceanothus</i> s. 'Yankee Point'	NCN	36" O.C.	0.2'-1'	D/W/S	EV	L
CM	1 gal	<i>Convolvulus mauritanicus</i>	Ground Morning Glory	30" O.C.	1'-2'	D/S	EV	L
CK	1 gal	<i>Coprosma Kirkii</i>	Creeping Coprosma	30" O.C.	1'-3'	D/W/S	EV	L
CS	1 gal	<i>Cotoneaster</i> s. 'Emerald Carpet'	Willowleaf Cotoneaster	36" O.C.	12'-15'	D/W/S	Semi EV	M
FC	1 gal	<i>Fragaria chilensis</i>	Wild Strawberry	12" O.C.	4"-8"	D/W/S	EV	M
JP	1 gal	<i>Juniperus</i> p. 'Nano'	NCN	36" O.C.	to 1'	D/W/S	EV	L
LM	1 gal	<i>Liriope</i> m. 'Majestic'	Lily Turf	12" O.C.	8"-12"	D	EV	M
MP	1 gal	<i>Myoporum 'Pacificum'</i>	NCN	48" O.C.	3"-6"	D/W/S	EV	L
RC	1 gal	<i>Rubus coccinioides</i>	Bramble	24" O.C.	to 1'	D/W/S	EV	M
SD	1 gal	<i>Satureja douglasii</i>	Yerba Buena	30" O.C.	to 8"	D/W/S	EV	?
TJ	1 gal	<i>Trachelospermum jasminoides</i>	Star Jasmine	18" O.C.	to 2'	-	EV	M
VM	1 gal	<i>Vinca minor</i>	Dwarf Periwinkle	18" O.C.	4"-6"	S	EV	M
VINES								
KEY	SIZE	BOTANICAL NAME	COMMON NAME	COMMENTS	HT. AT MATURITY	TOLERANCES	DEC/EV	WWCOLS
CG	1 gal	<i>Clematis</i> m. 'Grandiflora'	Anemone Clematis		20'-30'	-	DEC	M
DR	1 gal	<i>Distictis 'River'</i>	Royal Trumpet Vine		20'-30'	-	EV	M
FP	1 gal	<i>Ficus pumila</i>	Creeping Fig		15'-20'	-	EV	M
JP	1 gal	<i>Jasminum polyanthum</i>	Pink Jasmine		to 20'	-	EV	M
PT	1 gal	<i>Parthenocissus tricuspidata</i>	Boston ivy		30'-50'	D/S	Semi EV	M

NOTES:

PLANT TOLERANCES KEY:

- D Drought Tolerant
- W Wind Tolerant
- S Bad Soil Conditions Tolerant
- Not Tolerant to any above
- Will Be Used in Limited Quantities.

TOTAL AREA TO BE IRRIGATED:

Phase 1 Low = 33,891 s.f.
Phase 1 Med = 22,062 s.f.
Phase 2 Low = 11,601 s.f.
Phase 2 Med = 16,605 s.f.
Total Site = 84,159 s.f.

IRRIGATION SYSTEM:

The irrigation system will be designed to operate efficiently utilizing low application rate sprinklers and/or drip emitters. Irrigation zones will be separated to account for differing plant water requirements, root depths and sun/shade exposures.

SHORELINE PLANT PALETTE

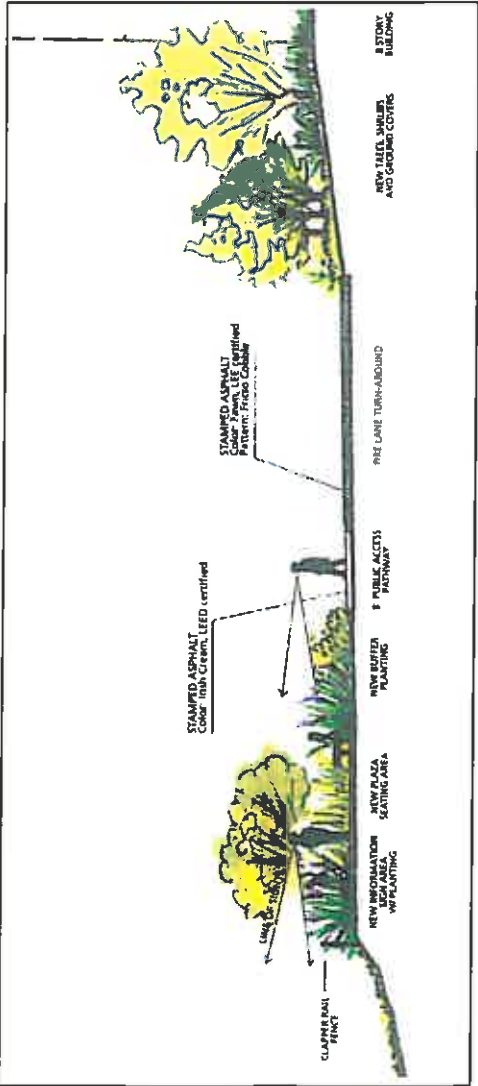
TREES	• 24" • 30" Standard Unless Noted Otherwise or Plans		
SIZE	BOTANICAL NAME	COMMON NAME	WWCOLS
•	<i>Arbutus 'Marina'</i>	Strawberry Tree	M
•	<i>Cercis occidentalis</i>	Western Redbud	VL
•	<i>Eucalyptus spathulata</i>	Narrow-leaf Gumtree	L
•	<i>Garrya elliptica</i>	Coast Silk-tassel	L
•	<i>Heteromeles arbutifolia</i>	Toyon	VL
•	<i>Laurus n. 'Saratoga'</i>	Sweet Bay	L
•	<i>Meraleuca quinquenervia</i>	Cajuput Tree	L
•	<i>Pinus torreyana</i>	Torrey Pine	L
SHRUBS			
SIZE	BOTANICAL NAME	COMMON NAME	WWCOLS
5 gal	<i>Arctostaphylos noakeri</i>	Hooker's Manzanita	L
5 gal	<i>Corpanteria californica</i>	Bush Anemone	L
5 gal	<i>Ceanothus g. horizontalis</i>	Carmel Creeper	L
5 gal	<i>Escallonia r. 'C. F. Ball'</i>	Escallonia	M
5 gal	<i>Grevillia 'avandulacea'</i>	Grevillia	L
5 gal	<i>Lavatera assurgentiflora</i>	Tree Mallow	L
5 gal	<i>Lupinus albifrons</i>	Silver Bush Lupine	VL
5 gal	<i>Phlomis fruticosa</i>	Jerusalem Sage	L
5 gal	<i>Pittosporum tobira</i>	Tobira	L
5 gal	<i>Prunus c. 'Bright ana Tign'</i>	Carolina Cherry Laurel	L
5 gal	<i>Salvia leucophylla</i>	Purple Sage	L
5 gal	<i>Westringia fruticosa</i>	Coast Rosemary	L

PERENNIALS			
SIZE	BOTANICAL NAME	COMMON NAME	WWCOLS
1 gal	<i>Clarkia rubicunda</i>	Forewell to Spring	?
1 gal	<i>Eschscholzia californica</i>	California Poppy	VL
1 gal	<i>Iris douglasiana</i>	Douglas Iris	L
1 gal	<i>Penstemon spectabilis</i>	Royal Penstemon	M
1 gal	<i>Sisyrinchium bellum</i>	Blue-eyed Grass	VL
GROUNDCOVERS			
SIZE	BOTANICAL NAME	COMMON NAME	WWCOLS
1 gal	<i>Arctostaphylos edmundsii</i>	Little Sur Manzanita	L
1 gal	<i>Baccharis pilularis</i>	Dwarf Coyote Bush	L
1 gal	<i>Ceanothus g. 'Yankee Point'</i>	NCN	L
1 gal	<i>Rubus californicus</i>	Rubus	M
GRASSES			
SIZE	BOTANICAL NAME	COMMON NAME	WWCOLS
1 gal	<i>Carthagenensis 'Karl Foester'</i>	Feather Reed Grass	?
1 gal	<i>Chonaropetalum tectorum</i>	Cape Rush	?
1 gal	<i>Festuca californica</i>	California Fescue	L
1 gal	<i>Koeleria macrantha</i>	Junegrass	?
1 gal	<i>Muhlenbergia rigens</i>	Deer Grass	L

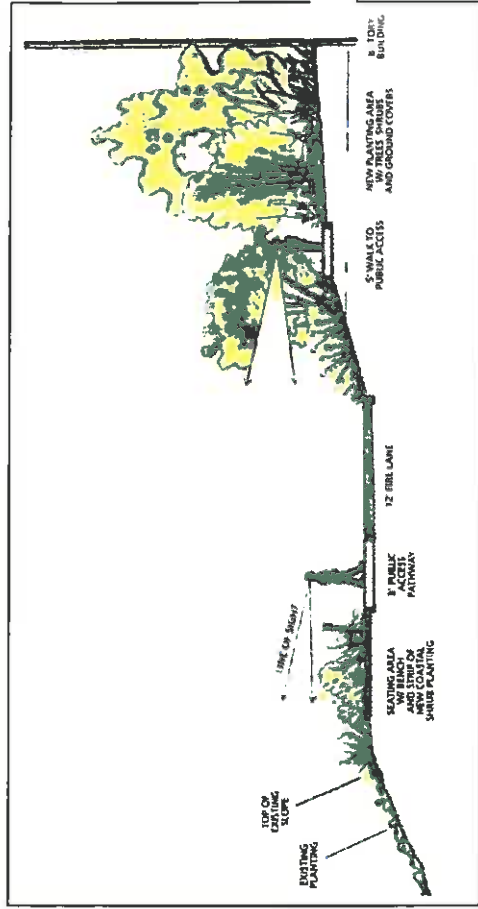
TOTAL: 32,580 SF
 LANDSCAPING: 10,510 SF
 PATH: 2,690 SF
 FIRE ROAD: 4,480 SF
 UNDEVELOPED: 14,900 SF

TOTAL: 209,980 SF
 LANDSCAPING: 49,400 SF





SECTION A scale 3/16" = 1'0"



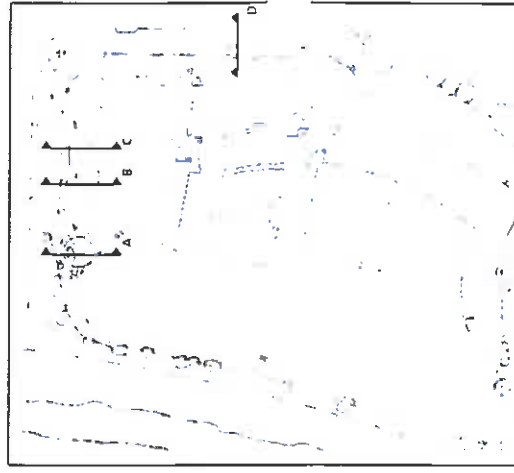
SECTION B scale 3/16" = 1'0"



SECTION C scale 3/16" = 1'0"



SECTION D scale 3/16" = 1'0"



KEY MAP scale 1" = 80'

12/05/06
09/21/07



a Development of Opus West Corporation

OPUS CENTER SIERRA POINT

Brisbane, California

Schematic Landscape Sections

L-3

The Guzzardo Partnership Inc.



SECTION THROUGH MOUNDING

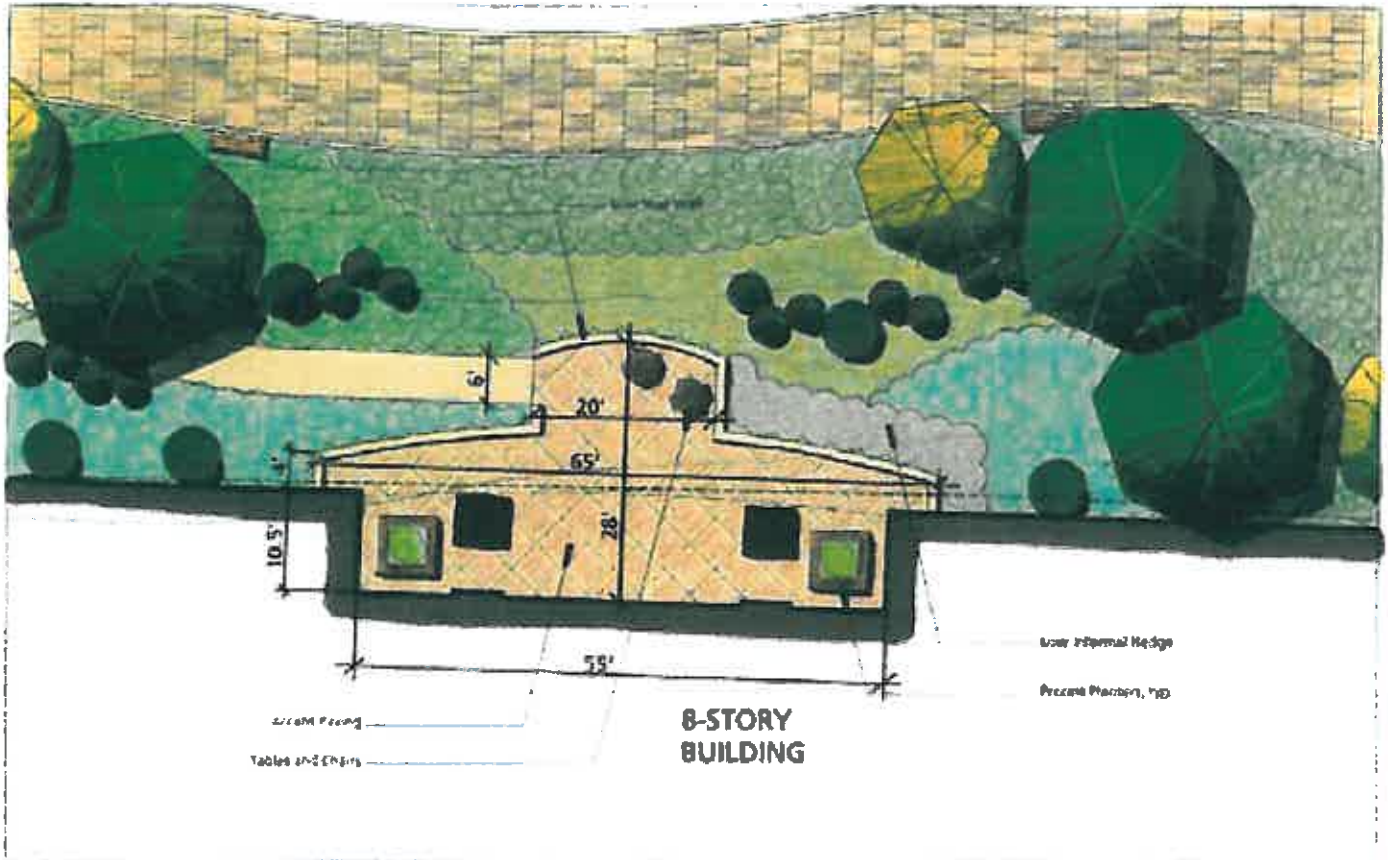
Scale 1/16" = 1'-0"



MOUNDING ALONG MARINA BLVD

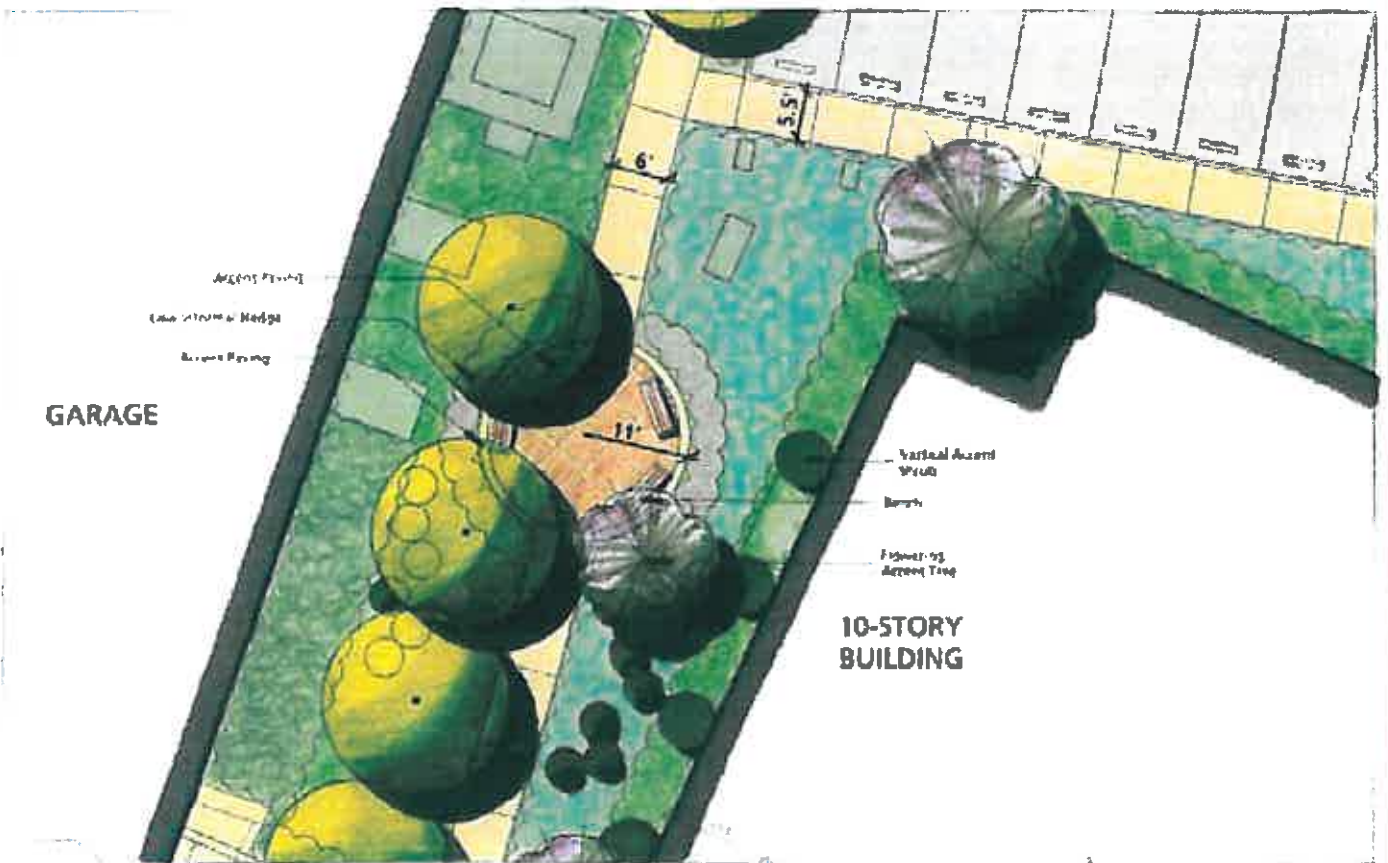
G.I. 50

Scale 1/16" = 1'-0"



PLAZA BEHIND 8-STORY BLDG

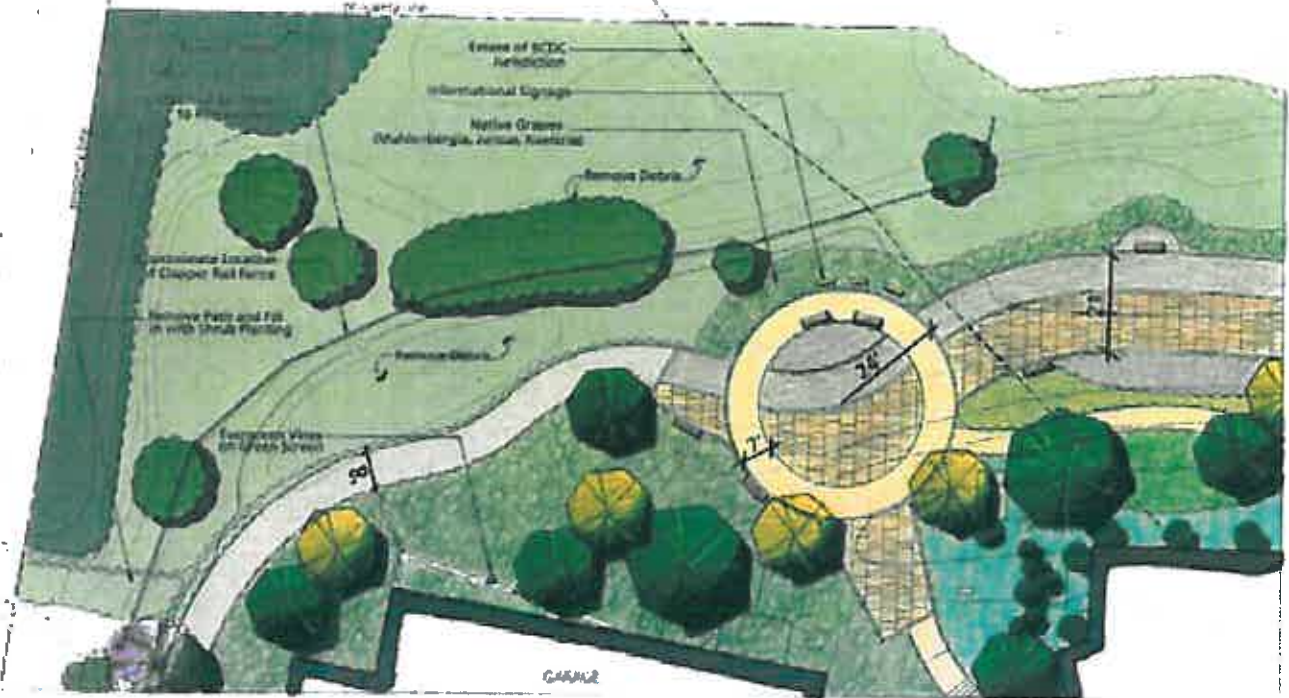
Scale 1/8"=1'-0



SEATING AREA BEHIND 10-STORY BLDG

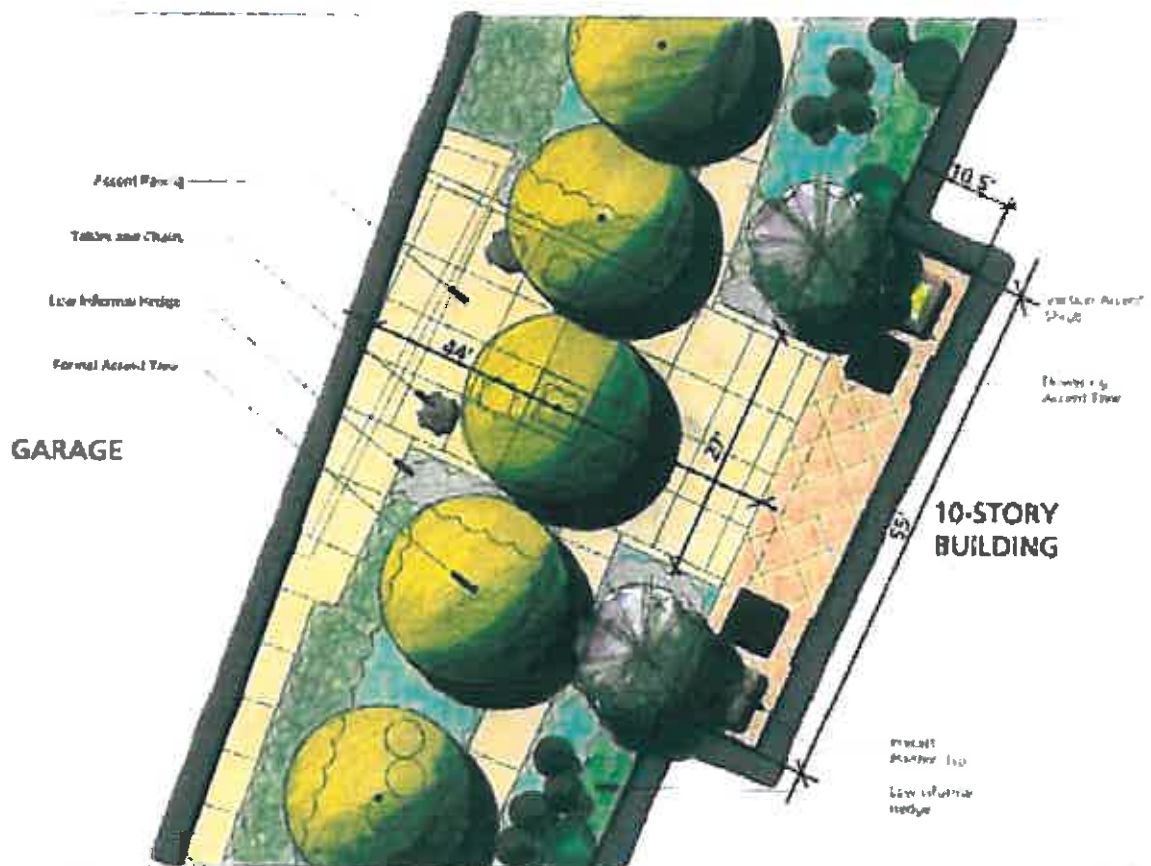
G.I.S2.

Scale 1/8"=1'-0



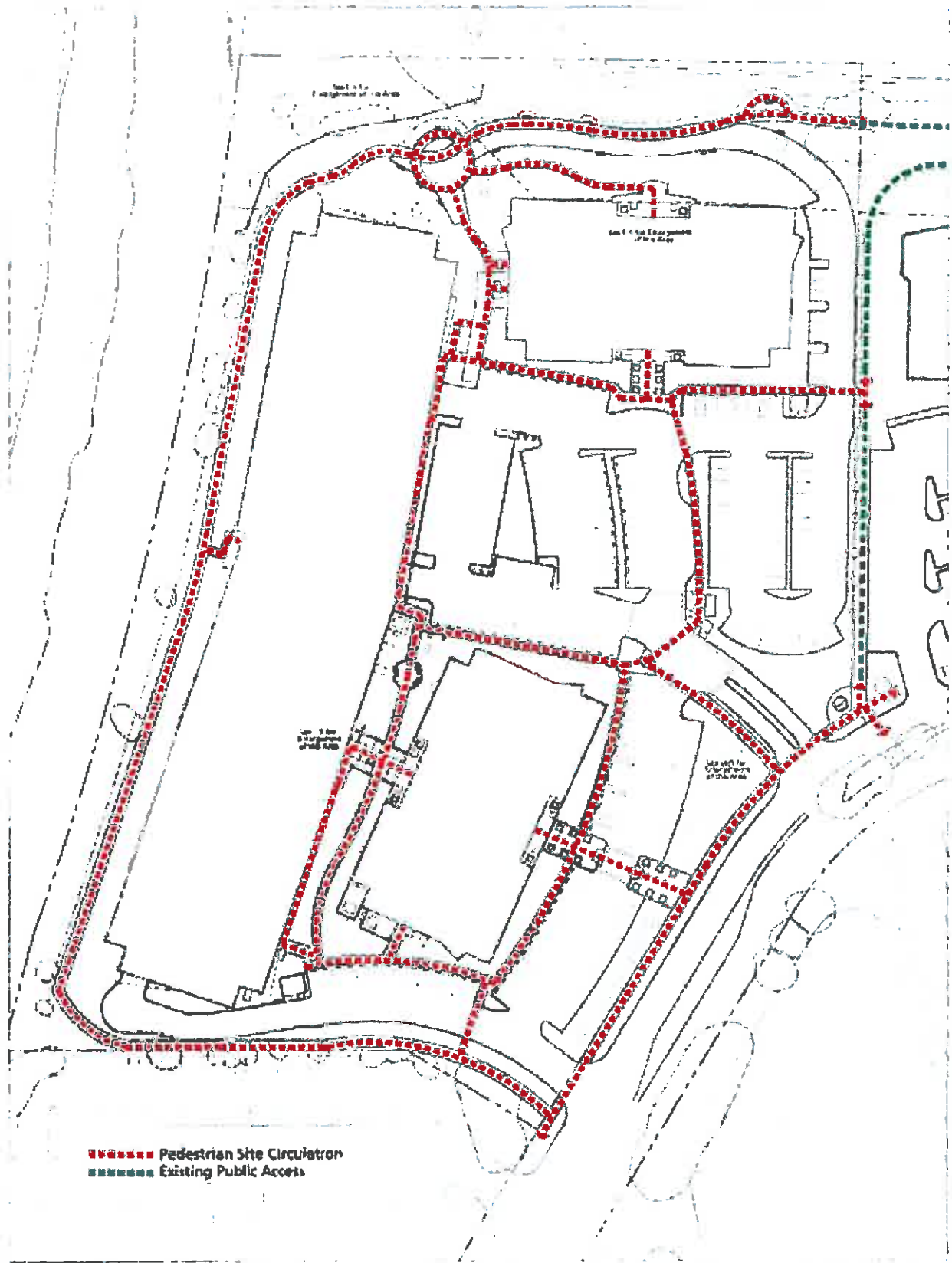
NORTH WEST SITE AREA

Scale 1/16" = 1'-0"



PLAZA BETWEEN GARAGE AND 10-STORY BLDG

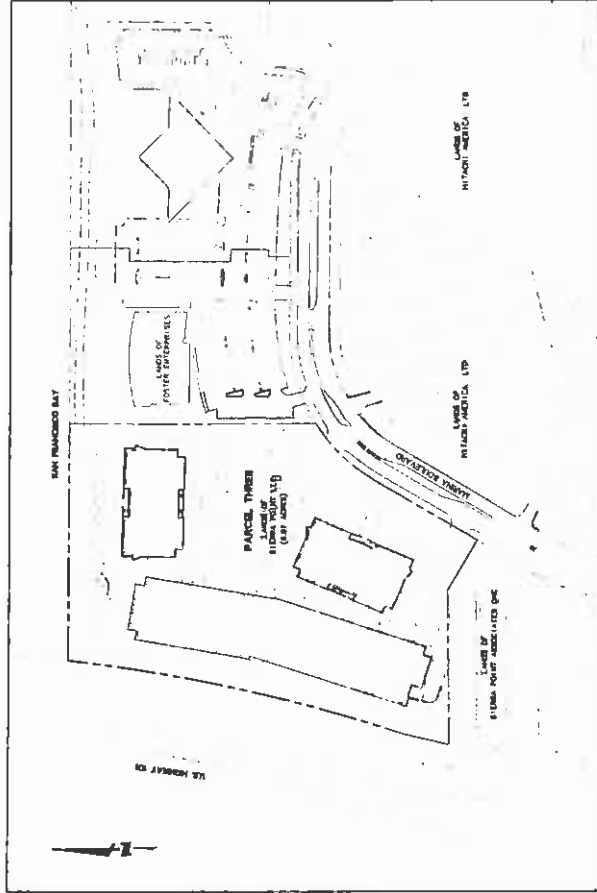
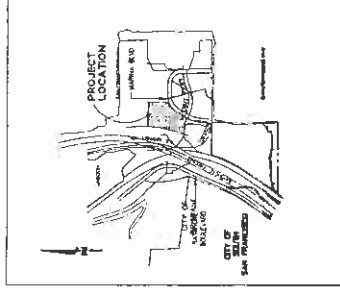
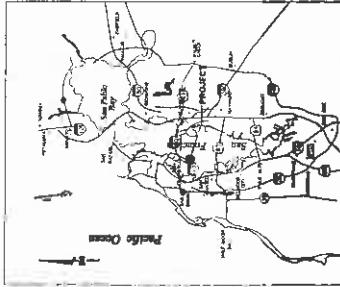
Scale 1/8" = 1'-0"



G-1.54

DRAWING INDEX

DRAWING NO.	DESCRIPTION
C1.0	TITLE SHEET
C2.0	NOTES, LEGEND AND ABBREVIATIONS
C3.0	EXISTING CONDITIONS AND SOLUTION PLAN
C4.0	REFINE GRADING PLAN
C5.0	CLAY CAP - FOUNDATION PLAN
C6.0	ROUGH GRADING PLAN
C7.0	CONCEPTUAL FINE GRADING PLAN
C8.0	CONCEPTUAL UTILITY PLAN



PROJECT BENCHMARKS
 THE BENCHMARKS FOR THIS PROJECT WILL BE THE EXISTING BENCHMARK FOR THE NEAREST ADJACENT BUILDING. THE BENCHMARK FOR THE NEAREST ADJACENT BUILDING IS THE BENCHMARK FOR THE NEAREST ADJACENT BUILDING. THE BENCHMARK FOR THE NEAREST ADJACENT BUILDING IS THE BENCHMARK FOR THE NEAREST ADJACENT BUILDING.

BASES OF BEARINGS
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ENGINEER'S STATEMENT
 THESE IMPROVEMENT PLANS HAVE BEEN PREPARED BY ME OR UNDER MY SUPERVISION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.



JOHN GORMAN
 PROFESSIONAL ENGINEER
 No. 43428
 State of California

GEOTECHNICAL ENGINEER'S CERTIFICATE
 THESE IMPROVEMENT PLANS HAVE BEEN REVIEWED AND APPROVED FOR THE CITY OF SAN FRANCISCO BY ME OR UNDER MY SUPERVISION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE. THESE IMPROVEMENT PLANS WERE DATED OCTOBER 25, 2007.

JOHN GORMAN
 GEOTECHNICAL ENGINEER
 No. 43428
 State of California

RECORD DRAWINGS
 THESE RECORD DRAWINGS ARE BASED ON A UNIFIED FIELD REVIEW AND APPROVAL BY THE CITY OF SAN FRANCISCO. THESE RECORD DRAWINGS ARE BASED ON A UNIFIED FIELD REVIEW AND APPROVAL BY THE CITY OF SAN FRANCISCO.



JOHN GORMAN
 PROFESSIONAL ENGINEER
 No. 43428
 State of California

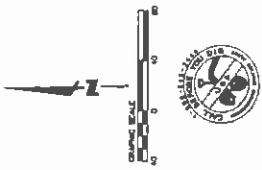
GRADING CERTIFICATE
 APPROVAL OF THE GRADING CERTIFICATE WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF THE PROJECT. APPROVAL OF THE GRADING CERTIFICATE WILL BE REQUIRED PRIOR TO THE CONSTRUCTION OF THE PROJECT.

SITE'S APPROVAL
 THESE IMPROVEMENT PLANS HAVE BEEN REVIEWED AND APPROVED BY THE CITY OF SAN FRANCISCO.

DATE: _____
 CITY OF SAN FRANCISCO

OWNER/DEVELOPER
 CONTACT: MR. JOHN VASE
 OPUS WEST CORPORATION FOR COMMERCIAL DEVELOPMENT
 17501 75TH AVENUE, SUITE 200
 FREMONT, CA 94531

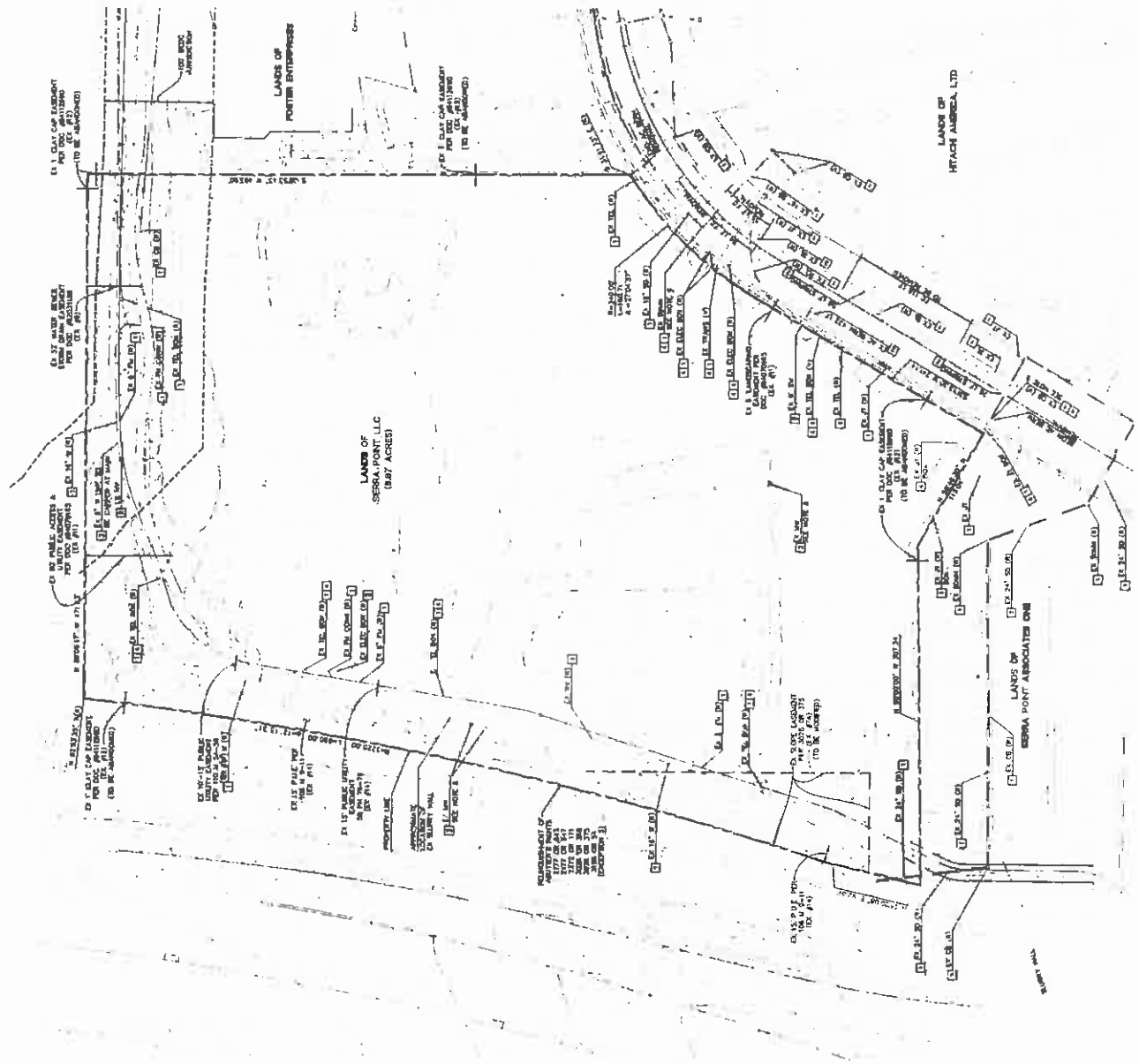
G.1.55.



- LEGEND**
- EXISTING CLAY CAP TO REMAIN
 - EXISTING AC PAVN
 - TO REMAIN
 - TO BE REMOVED
 - UTILITY LINE TO BE CAPPED AT MAIN
 - UTILITY TO GRADE
 - UTILITY LINE TO BE REMOVED

NOTES:

1. CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE GENERAL AREA OF THE CLAY CAP AND CLAY CAPPING OPERATIONS ON DATE TO BE REMOVED OF ALL UTILITIES.
2. CONTRACTOR MUST REMOVE DEMOLITION POINT FROM TO BE REMOVED AND LARGER CLAY CAP SHALL BE CAPPED AT MAIN POINT SHALL BE OBTAINED FROM THE CITY PRIOR TO REMOVAL OF ALL UTILITIES.
3. ALL UTILITIES LABELED FOR REMOVAL SHALL BE PROTECTED AT APPROVED AND TO REMAIN OPERATIONAL.
4. MATERIALS TO BE CONSIDERED AND REMOVED SHALL ACCORDING TO THE CITY OF BRISBANE AND SHALL BE INSTALLED AS REQUIRED BY THE CITY OF BRISBANE.
5. CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE GENERAL AREA OF THE CLAY CAP AND CLAY CAPPING OPERATIONS ON DATE TO BE REMOVED OF ALL UTILITIES.
6. CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE GENERAL AREA OF THE CLAY CAP AND CLAY CAPPING OPERATIONS ON DATE TO BE REMOVED OF ALL UTILITIES.
7. CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE GENERAL AREA OF THE CLAY CAP AND CLAY CAPPING OPERATIONS ON DATE TO BE REMOVED OF ALL UTILITIES.
8. CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE GENERAL AREA OF THE CLAY CAP AND CLAY CAPPING OPERATIONS ON DATE TO BE REMOVED OF ALL UTILITIES.
9. CONTRACTOR SHALL VERIFY ALL UTILITIES IN THE GENERAL AREA OF THE CLAY CAP AND CLAY CAPPING OPERATIONS ON DATE TO BE REMOVED OF ALL UTILITIES.



G.1.57.

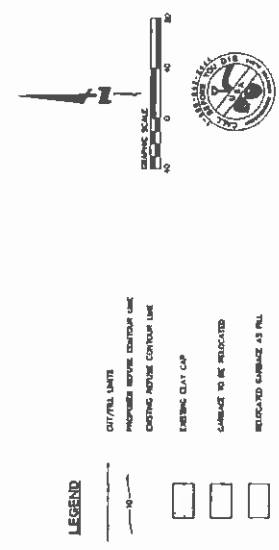
12/05/08
09/21/07

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OPUS CENTER SIERRA POINT
Brisbane, California

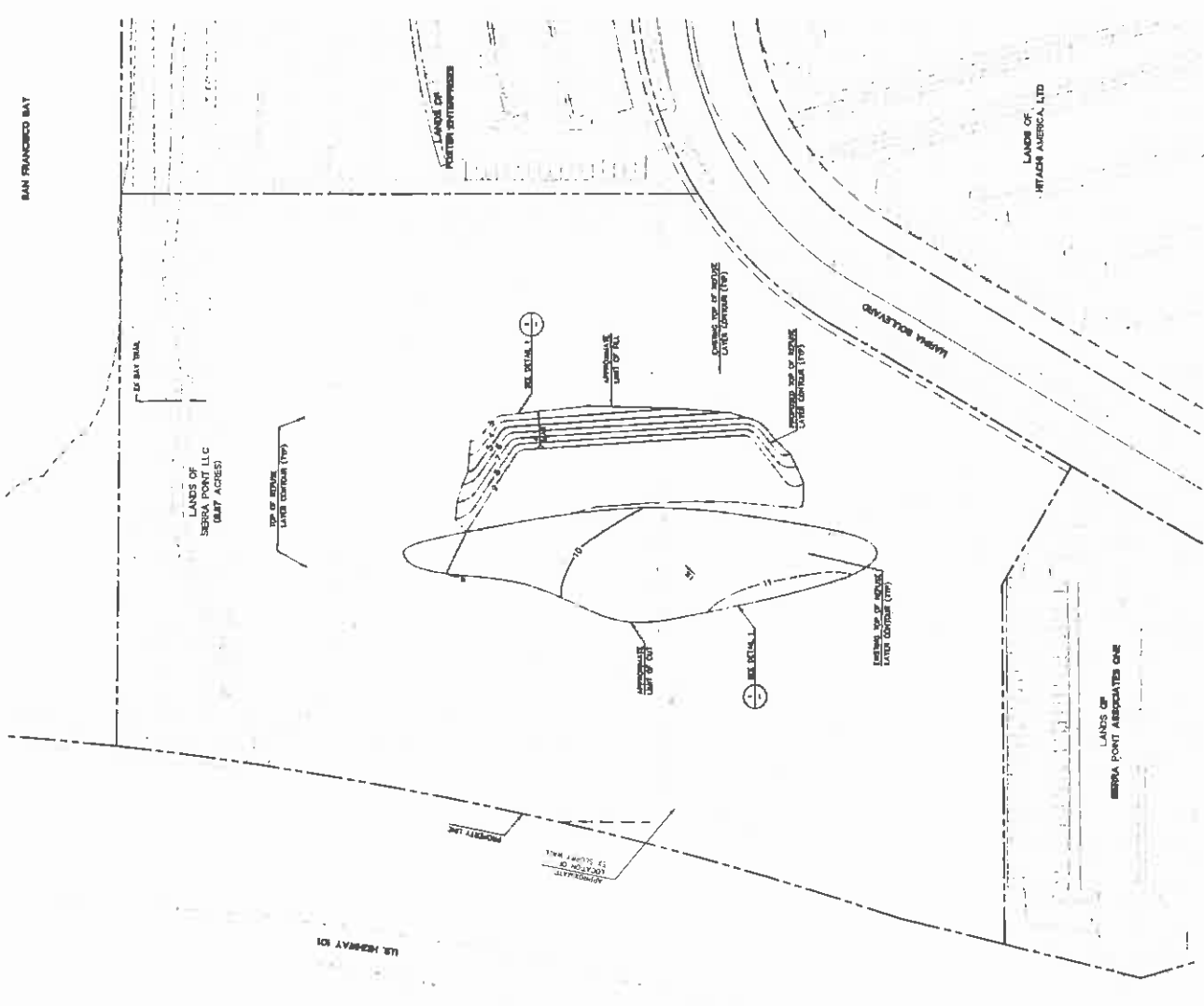
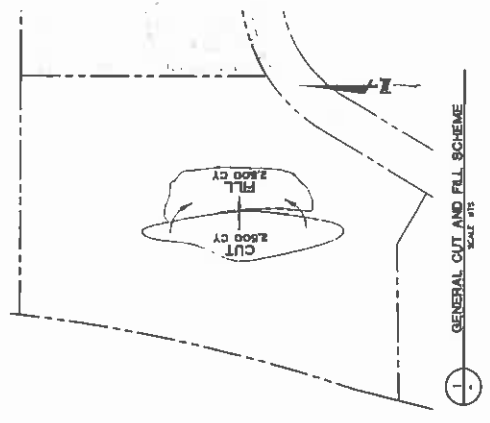
Existing Conditions and Demolition Plan

Hoover Associates
C3.0



REFUSE GRADING NOTES

1. THE PURPOSE OF THIS DRAWING IS TO REFUSE GRADING. EXISTING DRAINAGE CHANNELS AND VALLEYS IN THE REFUSE, WITH THE EXCEPTED FILL, SHALL BE MAINTAINED AS MUCH AS POSSIBLE TO BE MAINTAINED TO THE ORIGINAL GRADING. EXISTING REFUSE GRADING SHALL BE MAINTAINED TO THE ORIGINAL GRADING AND EXCEPTED FILL SHALL BE MAINTAINED TO THE ORIGINAL GRADING. EXISTING REFUSE GRADING SHALL BE MAINTAINED TO THE ORIGINAL GRADING AND EXCEPTED FILL SHALL BE MAINTAINED TO THE ORIGINAL GRADING.
2. ALL EXISTING REFUSE GRADING SHALL BE MAINTAINED TO THE ORIGINAL GRADING AND EXCEPTED FILL SHALL BE MAINTAINED TO THE ORIGINAL GRADING.
3. ALL EXISTING REFUSE GRADING SHALL BE MAINTAINED TO THE ORIGINAL GRADING AND EXCEPTED FILL SHALL BE MAINTAINED TO THE ORIGINAL GRADING.
4. ALL EXISTING REFUSE GRADING SHALL BE MAINTAINED TO THE ORIGINAL GRADING AND EXCEPTED FILL SHALL BE MAINTAINED TO THE ORIGINAL GRADING.
5. SEE STEP 1 NOTE 2 OF CLAY GAMING PROCEDURES ON SHEET C-4.0.



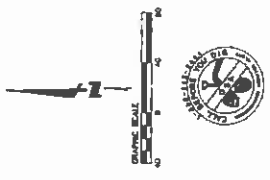
G.I.58.

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09/21/07

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Brisbane, California

Refuse Grading Plan
Hoover Associates
C4.0



LEGEND

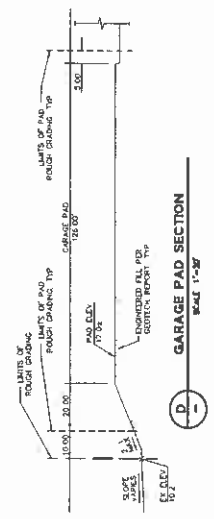
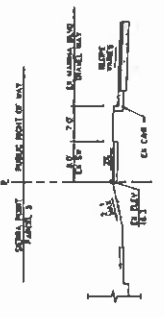
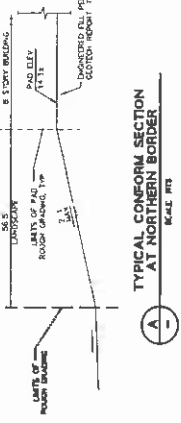
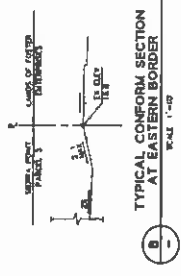
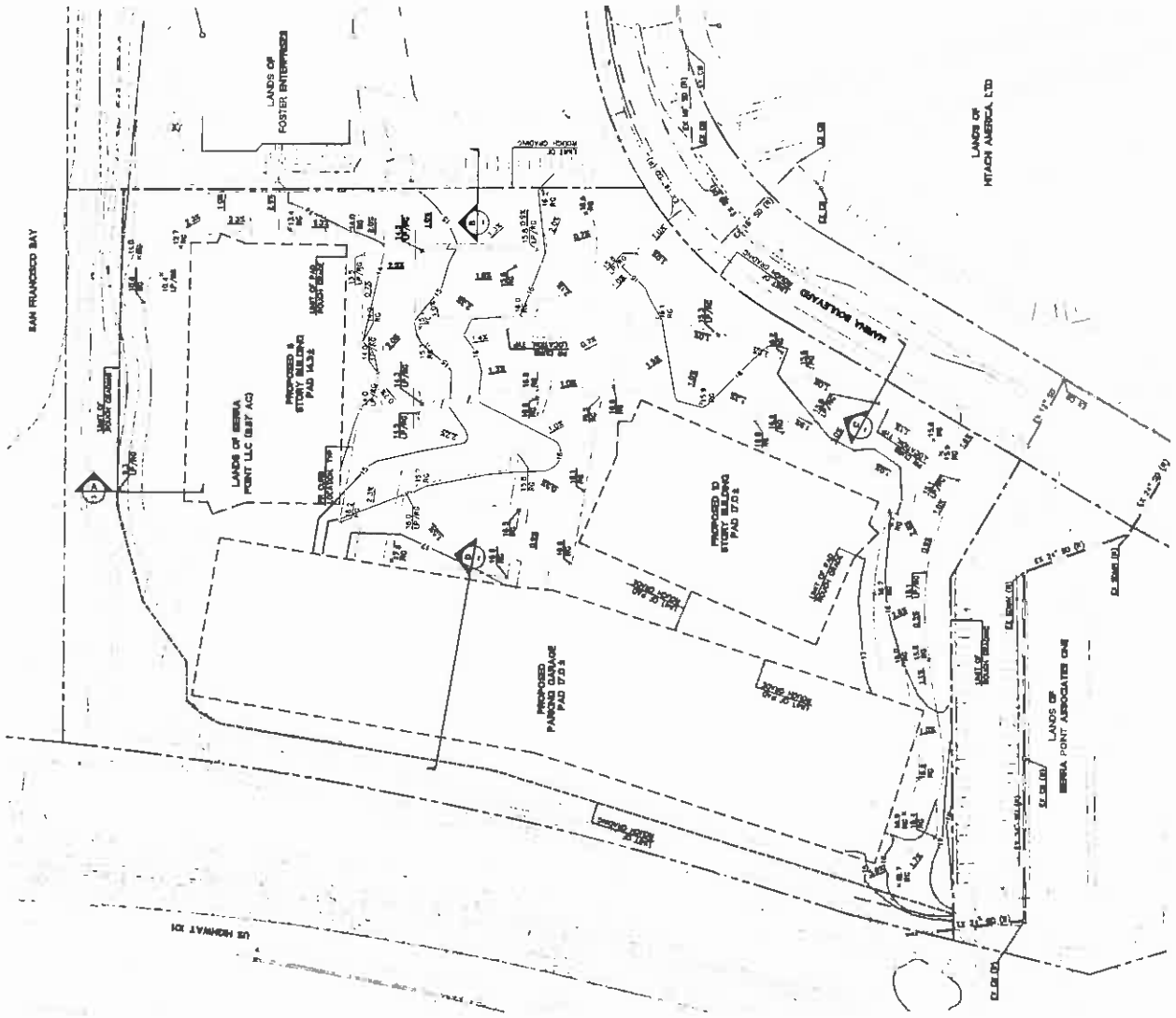
— LIMIT OF ROUGH GRADING
 — ROUGH GRADING ELEVATION
 — DIRECTIONAL TURN OF SURFACE IMPROV

ASSUMPTIONS

1. MINOR DRIVE IS 8' 5" BELOW FINISHING SURFACE
2. MINOR DRIVE IS 4" BELOW SIGNALS SURFACE
3. GARAGE AND BUILDING PAD ENCHOKER IS 11"
4. MINOR DRIVE SLOPE 2:1 TOWARD PROJECT SITE
5. ALL DIMENSIONS COMPARED TO EXISTING G.P. SITE CONDITIONS

NOTES:

1. VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA. VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
3. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
6. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
7. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
8. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
9. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.
10. CONTRACTOR TO VERIFY ALL DIMENSIONS, SPACING, AND ELEVATIONS WITH FIELD SURVEY DATA.



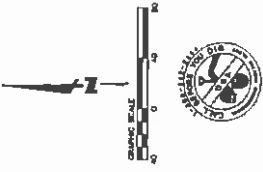
G.1.60.

12/05/08
 09/21/07

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OPUS CENTER SIERRA POINT
 Brisbane, California

Rough Grading Plan
 Hoover Associates
 C6.0



LEGEND

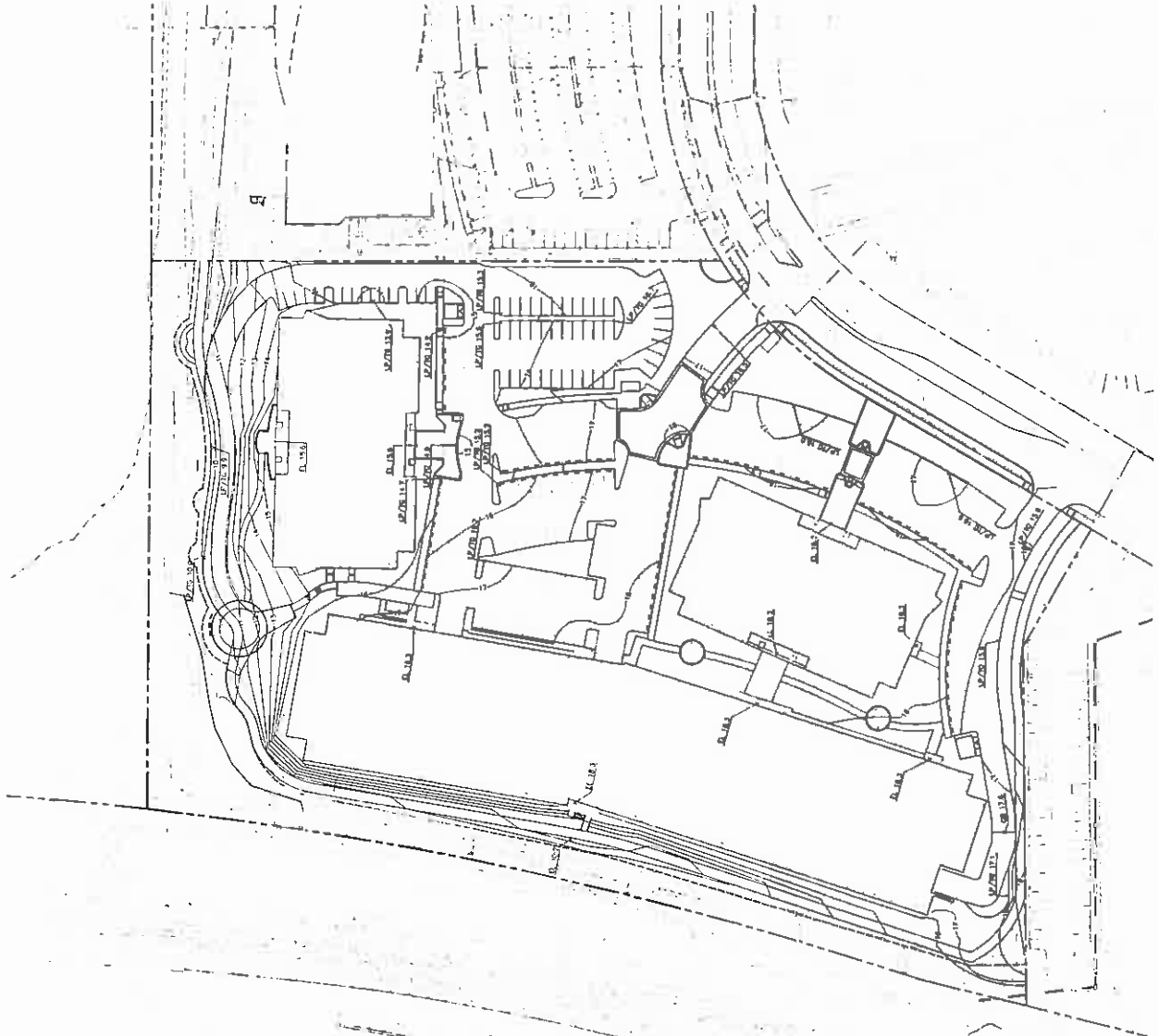
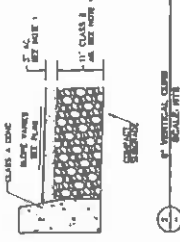
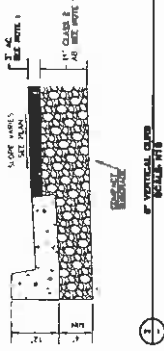
PROPERTY LINE	---	EXISTING
POLE	—	
CURB LINE	—	
TREE	—	
POLE S.A.B.	□	

ABBREVIATIONS

AS	ASPHALTE BASE	LAG	LEAVE AND GRASS
CC	CONCRETE	PAO	PROPOSED PAVEMENT
CONC	CONCRETE		

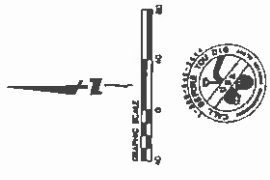
- NOTES**
1. STRUCTURAL SECTIONS OF CONCEPTUAL AND NEEDS TO BE SUBMITTED TO THE LOCAL DEPARTMENT OF CONSTRUCTION SERVICES FOR REVIEW.
 2. FINISH ELEVATIONS ARE BASED ON AN ASSUMED 14' S.A.B. THICKNESS.
 3. TREES AND LANDSCAPE ARE SHOWN FOR CONCEPTUAL PURPOSES. SEE LANDSCAPE PLAN BY ASSOCIATED ARCHITECTS FOR DETAILS.

EARTHWORK
 24,000 SQ. YARDS (APPROX.)
 APPROXIMATE VOLUME OF EARTHWORK IS 100,000 CU. YD. (APPROX.)
 SHOWN BELOW PROPOSED GRADE FOR CLAY CAP INSTALLATION.



G.1.61.

12/05/08
 09/21/07



LEGEND

ROADWAY LINE	BOUNDARY
ELECTRIC	SEWER
STORM PLUM MAIN	WATER
SANITARY SEWER MAIN	TELEPHONE
WATER MAIN	TELEPHONE LINE
OVERHEAD POWER	CEILING
CEILING	WATER METER
WATER METER	WATER VALVE
FIRE HYDRANT	SMOKE LIGHT
FORM WATER MAIN PUMP	

ABBREVIATIONS

CB	CLAYTON BRAWN
BO	BONNIE O'NEILL
CL	CLAYTON
DL	DAVID L...
FR	FRED R...
HW	HARVEY W...

NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. VERIFY ALL UTILITIES AND DEPT. BEFORE CONSTRUCTION. REFER TO LOCAL AGENCIES FOR DETAILS.

LEGEND

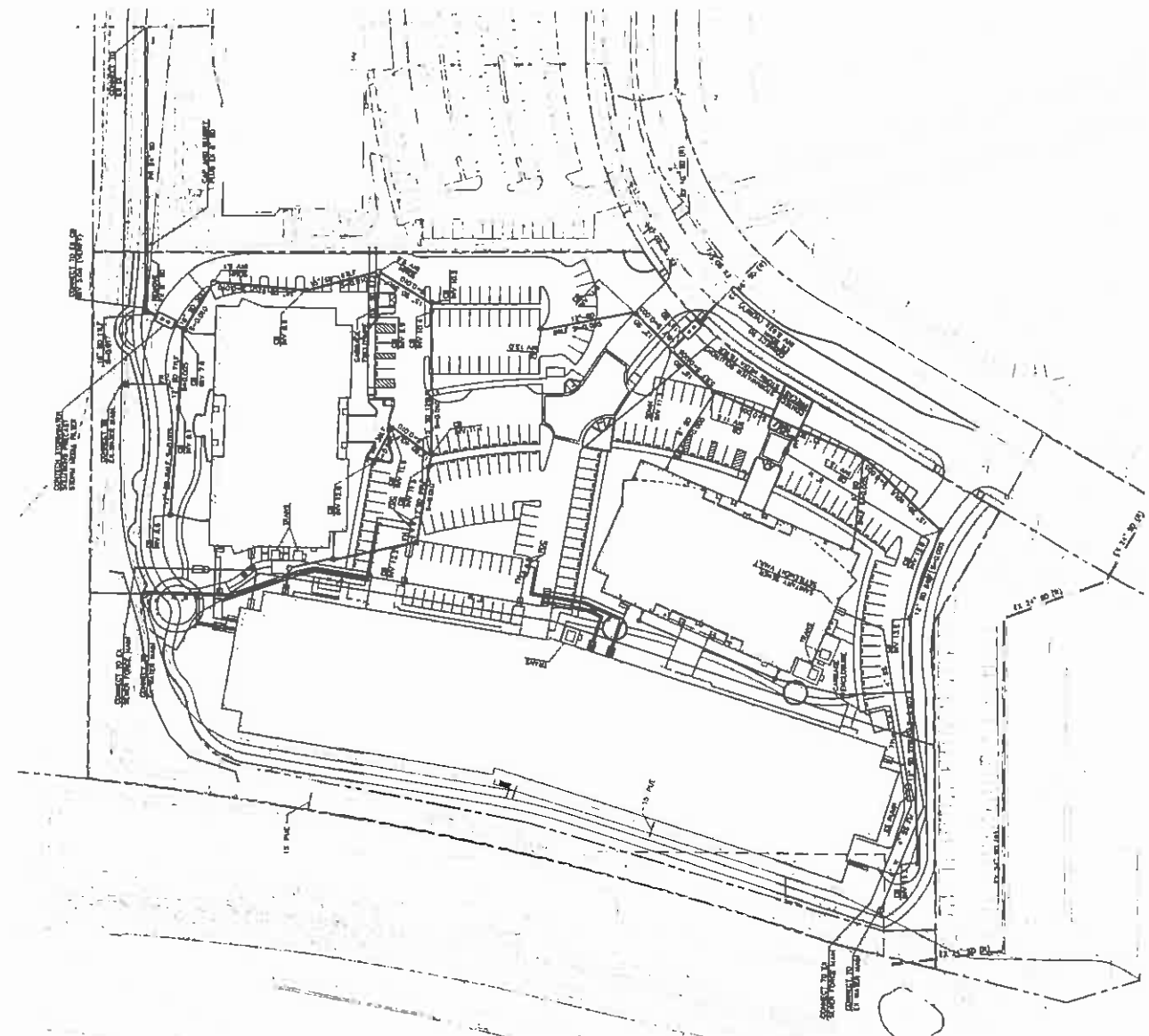
ROADWAY LINE	BOUNDARY
ELECTRIC	SEWER
STORM PLUM MAIN	WATER
SANITARY SEWER MAIN	TELEPHONE
WATER MAIN	TELEPHONE LINE
OVERHEAD POWER	CEILING
CEILING	WATER METER
WATER METER	WATER VALVE
FIRE HYDRANT	SMOKE LIGHT
FORM WATER MAIN PUMP	

ABBREVIATIONS

CB	CLAYTON BRAWN
BO	BONNIE O'NEILL
CL	CLAYTON
DL	DAVID L...
FR	FRED R...
HW	HARVEY W...

NOTES

1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
2. VERIFY ALL UTILITIES AND DEPT. BEFORE CONSTRUCTION. REFER TO LOCAL AGENCIES FOR DETAILS.



6.1.62

12/05/08
09/21/07

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OPUS CENTER SIERRA POINT
Brisbane, California

Conceptual Utility Plan
Hoover Associates
C8.0