

City of Brisbane

Planning Commission Agenda Report

TO: Planning Commission For the Meeting of 9/26/13

FROM: Ken Johnson Senior Planner, via John A. Swiecki Community Development Director

SUBJECT: **60 Plumas Street;** Design Permit DP-2-13; Design Permit for Development of a Three Unit Multi-family Dwelling on a 5,000 sq ft Vacant Lot in the R-3 Residential Zoning District; James Seto, applicant; James, Saovanh, Robert, and Amy Seto, owners; APN 007-223-010

Request: The applicant proposes to build a triplex at 60 Plumas Street, a 5,000 sq ft vacant lot at the corner of Plumas and Mariposa Streets. This is within the R-3 residential zoning district and a design permit is required for developments of 3 units or more in this district. The applicant has also applied for a tentative map and use permit for the development to be constructed as condominiums, to allow the individual units to be held in private ownership. However, the applicant has requested that these other applications be allowed to remain incomplete, pending a decision by the Planning Commission on the proposed site/building design. Once the decision has been made on the design, the tentative map and use permit applications would be completed and brought before the Planning Commission for separate hearing and decision.

The proposed 3 dwelling units would have three bedrooms each and would range from approximately 1,564 to 1,616 sq ft of living space, within a two story building. Parking would be provided within the same building with a 2 car garage for each unit, two of which would provide tandem parking. Additional parking, beyond the code requirements, would be provided on the street.

Recommendation: Conditionally approve Design Permit DP-2-13 per the staff memorandum with attachments, via adoption of Resolution DP-2-13 with Exhibit A containing the findings and conditions of approval.

Environmental Determination: Construction of new multi-family dwelling units of 6 units or fewer in an urbanized area are categorically exempt from the provisions of the California Environmental Quality Act per Section 15303 of the State CEQA Guidelines. The exceptions to the categorical exemptions referenced in Section 15300.2 do not apply.

Applicable Code Sections: Brisbane Municipal Code Section 17.10.050 requires a Design Permit for three or more dwelling units. The findings required for the approval of Design Permits are contained in BMC Section 17.42.040.

Background: The City Council introduced Ordinance No. 566 on September 16th which includes the Planning Commission's previously recommended changes to the provisions

regarding establishment of condominiums. The City Council is scheduled to adopt the ordinance in October and it would become effective in November 2013. Assuming the Planning Commission approves the design for 60 Plumas Street, the applicant has indicated that he is prepared to complete the applications for the use permit for condominiums and the tentative map. Depending on the timing of when these applications are deemed complete, either the current or the proposed provisions regulating condominiums would apply. The major differences between the two are regarding how outdoor common areas or recreation (passive or active) areas are calculated and the proposed provisions include more specificity on such things as protection from noise and vibrations from mechanical equipment. The differences between the current and proposed ordinances, along with how they are addressed in this application, are highlighted in Table 1.

Given the timing of this application and the uncertainty of which provisions might apply, both sets of provisions are addressed in this design permit. The applicant has included adequate outdoor space under either set of provisions and staff has included recommended conditions of approval to address the new provisions in the event they are adopted. In any event, these conditions would benefit future residents of these proposed units.

Alternatively, following approval of the Design Permit, the owner could choose to construct the proposed development, via building permit, as rental units and not establish these units as condominiums. Such a decision on the applicant's part would not have a bearing on the design permit. In that case, the conditions of approval would carry forward with the development and the development could potentially be converted to condominiums under the condominium conversion provisions, or remain as rentals indefinitely.

Analysis and Findings: To approve a Design Permit, the Planning Commission must make the findings required by Brisbane Municipal Code Section 17.42.040. There are 9 applicable findings which this application must meet for approval. They are outlined below along with the analysis/discussion for each.

The required findings for a design permit are as follows:

General Plan Consistency: "The proposed development is consistent with the general plan and any applicable specific plan."

The proposal is consistent with the General Plan. The General Plan land use designation for this site is for residential uses of 15-30 Dwelling Units per Acre. With 3 units on a 5,000 sq ft lot, the development would have a density of 26 units per acre.

General Plan Policies 20 and 253 express the City's desire to retain and encourage diversity of development and individual expression in residential development in Central Brisbane. This proposal does that, in that it is a custom design specifically for this lot.

There is no specific plan for this area of Brisbane.

Compatibility with Adjacent Development: “The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development.”

The proposal is consistent with this finding. The neighborhood includes a mix of multi-family and single family residences. The immediately adjacent developments include the 2 story, 5 unit Habitat for Humanity development on Plumas Street, located on the interior side, and a single family home and 20 unit, 3 story apartment building, located at the rear of the subject property. The single family home and the apartment building front onto San Bruno Avenue. Single family residences predominate across both Plumas and Mariposa Streets, which are within the R-3 and R-1 residential zoning districts, respectively. The architectural styles of this neighborhood are mixed. See also the site vicinity aerial photo.

The site is a 50 ft by 100 ft, within the R-3 zoning district, a conforming lot for development of 3 units. It's located on the corner of Plumas Street and Mariposa Street. The front of the lot faces onto Plumas Street and the exterior side faces Mariposa Street.

The proposal meets both the maximum density limit as well as the specific development regulations regarding the size of the building (floor area, lot coverage and height) as well as placement (setbacks) for this zoning district. The building is proposed to be maintain the required 15 ft front setback, the 5 ft side setbacks and 10 ft rear setbacks, with exceptions allowed for architectural features such as eaves and the entry canopies. The building height is proposed at approximately 23 ft, where-as up to 28 ft would be allowed. Proposed at approximately 5 ft under the height limit while maintaining the required setbacks, the building would be of reasonable scale and compatible with the neighborhood. A summary of the proposal relative to the development regulations, BMC Section 17.10.040, is attached (Table 2).

Landscaping would be provided on all sides of the building, especially the street sides, which will serve as both outdoor passive recreation areas and to soften the overall appearance of the building.

Articulation requirements are not applicable for this project under the development regulations, since the exterior walls are less than 20 feet in height. However, articulation of the building is of concern as it relates to how the building's architecture fits with the neighborhood and the proposal employs good articulation in the use of decks, windows and architectural canopies at entry-ways.

The structure would have a Mediterranean-style hipped concrete “tile” roof with stucco exterior walls. The proposed colors are earth tones, with tan for the body of the stucco and dark brown doors and dark brown and white trim. Note that an artist's rendering of the proposed building is provided to give a sense of how the building and landscape concept would appear. Note however, that the rendering shows the body of the building as yellow/gold in color, where-as the applicant has indicated that the proposed colors are more subdued as shown on the materials photos provided with this staff report. A materials board, which provides the accurate color sample, will be available for viewing at the Planning Commission's hearing on this matter.

The combination of scale, orientation, landscaping and materials will fit well with the immediately adjacent development as well as neighborhood as a whole.

Potential Impacts on Adjacent Land Uses: "Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses."

The proposal is consistent with this finding. As indicated in the discussion on the previous finding the proposed building is appropriately situated on the site and the combination of the proposed setbacks and height being under the limit will maintain light and air to the adjacent land uses.

The primary potential impact on adjacent uses would be on the parking. As a currently vacant corner lot up to 7 on-street spaces (but more practically 6 spaces) may be provided along this site's frontage for use by the neighborhood. As proposed, the total parking provided by this site would include 6 garage spaces (2 per unit), plus 4 on-street spaces, for 10 spaces total. This would exceed the parking requirements, per BMC Section 17.34.010, of 6 garage spaces with no on-street space requirements. Note that for multi-family developments, parking is tied to the number of bedrooms for each unit, with 2 garage spaces required for 2 or more bedroom units. As part of this development, the road along Mariposa Street would be widened to City standards as required by the City Engineer. The driveways to the development would be located on Mariposa Street, thereby eliminating 2 to 3 street parking spaces and leaving one space on each side of the driveways. These driveway curb-cuts are placed together with the goal of maintaining on-street parking on either side to the extent feasible. No change in parking is proposed along the site frontage of Plumas Street, which accommodates 2 on-street spaces.

As indicated above, the proposed street parking exceeds the Municipal Code requirements by 4 on-street spaces and combined with the required covered parking are adequate to address this project's share of parking.

Note also that, in the Commission's parking ordinance recommendations to City Council, in 2012, for 3 bedroom units of 2,700 sq ft and smaller, 2 spaces per unit (1 covered and 1 covered or uncovered would be required). So this proposal would exceed that recommendation as well.

Natural Heating & Cooling: "The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping and building design to the extent practicable, given site constraints, to promote sustainable development and to address long term affordability."

The proposal is consistent with this finding. The design includes appropriate placement of windows on all sides of the building and eaves. The windows will allow for natural light throughout the units, thereby adding comfort and reducing the need for daytime lighting. The eaves will provide shading of the windows in the summer months when the sun tends to be higher in the sky and then allow for more sun through the windows in the winter when the sun is lower in the sky, providing natural heating and cooling.

Minimizing Traffic Effects: "The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking. There is an adequate circulation pattern within the boundaries of the development. Parking facilities are adequately surfaced, landscaped and lit."

The proposal is consistent with this finding. As previously discussed the driveways are accessed from the Mariposa Street side and maintain, to the degree practicable, on-street parking. The parking proposed would exceed the requirements for the development. Parking facilities will be internal to the units and will be required to meet state building code regarding constriction. A condition of approval is also recommended to require that each unit be equipped with an automatic garage door opener, to enable the vehicles to efficiently get off the street and into the garage spaces.

Appropriate Landscaping: "The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving and is appropriate to the location. Attention is given to habitat protection and wildland fire hazard as appropriate."

The proposal is consistent with this finding. The proposed conceptual landscaping plan complements the building in that it is in scale with the site and would provide a mix of outdoor, passive recreation areas and a balance between private areas and views into and out of the site. It would provide benches throughout the landscape for passive recreation. The landscaping is proposed using water conserving plants and low water use, drip irrigation. The proposed landscape also includes permeable pavers which would serve to minimize stormwater runoff. A condition of approval has also been recommended that runoff be directed away from the building to the landscaping, consistent with the California Water Board's recommended best management practices.

The site is not within a habitat conservation area or adjacent to wildlands, however the landscaping would not be permitted to include either invasive or highly flammable plant species. The final landscape plan will be subject to Community Development Director review as part of the building permit process.

Noise Measures: "The proposal takes reasonable measures to protect against external and internal noise."

The proposal is consistent with this finding. The site is within the Central Brisbane R-3 residential zoning district, which is consistent with the proposal. Internal noise is addressed through conditions of approval for noise dampening of mechanical equipment, which is also consistent with the proposed provisions in the draft condominium ordinance. In addition the state building code includes provisions to address potential noise transmission between attached housing units.

Avoiding Glare: "Consideration has been given to avoiding off-site glare from lighting and reflective building materials."

The proposal is consistent with this finding. A condition of approval has been recommended to require that lighting be directed so as not to result in off-site impacts upon neighboring properties. Although reflective building materials are not proposed, a condition of approval has been included to also prohibit the use of reflective building materials.

Screening Utilities: "Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment."

The proposal is consistent with this finding. PG&E meters and electrical boxes would be screened by landscaping and trash enclosures would be located behind the building along the interior side and rear lot lines.

Finally, note that BMC Section 17.42.045 includes special findings under which the Planning Commission may deny a design permit for a proposed housing development project, or approve it upon the condition that the project be developed at a lower density, even though the project complies with applicable general plan and zoning standards and design review criteria in effect at the time the application is determined to be complete. These findings were specifically adopted in 2011 to address the state's requirements for zoning to accommodate low income housing. This project does not fall into the class of project under which the Planning Commission would be required to make these findings for denial. The Planning Commission may approve or deny the project based on the findings outlined above. Additionally, the project is not required to have inclusionary (low – moderate income) housing under the City's Inclusionary Housing Ordinance since it is proposed for less than 6 units, per BMC Section 17.31.030.

Attachments:

- Draft Resolution with Findings and Conditions of Approval
- Table 1 Comparison of Current vs. Pending Permit Provisions for Condominiums
- Table 2 Project Description
- Aerial of Site Vicinity
- Applicant's Statement
- Applicant's Plans & Photos
- Applicant's Colors & Materials Samples

draft
EXHIBIT A

Action Taken: Conditionally approve Design Permit DP-2-13 per the staff memorandum with attachments, via adoption of Resolution DP-2-13

Findings:

- A. The proposed development is consistent with the General Plan, as detailed in the agenda report.
- B. The proposal's scale, form and proportion, are harmonious, and the materials and colors used complement the project.
- C. The orientation and location of buildings, structures, open spaces and other features integrate well with each other and maintain a compatible relationship to adjacent development.
- D. Proposed buildings and structures are designed and located to mitigate potential impacts to adjacent land uses.
- E. The project design takes advantage of natural heating and cooling opportunities through building placement, landscaping and building design to the extent practicable, given site constraints, to promote sustainable development and to address long term affordability.
- F. The site plan minimizes the effects of traffic on abutting streets through careful layout of the site with respect to location, dimensions of vehicular and pedestrian entrances and exit drives, and through the provision of adequate off-street parking.
- G. The site provides open areas and landscaping to complement the buildings and structures. Landscaping is also used to separate and screen service and storage areas, break up expanses of paved area and define areas for usability and privacy. Landscaping is generally water conserving and is appropriate to the location.
- H. The proposal takes reasonable measures to protect against external and internal noise.
- I. Consideration has been given to avoiding off-site glare from lighting and reflective building materials.
- J. Attention is given to the screening of utility structures, mechanical equipment, trash containers and rooftop equipment.

Conditions of Approval:

Prior to issuance of a Building Permit:

1. An application including detailed building plans, application forms and fees shall be submitted to the City for issuance of a Building Permit. The building shall be required to comply with all applicable state codes and applicable City of Brisbane Municipal Code provisions for new construction.
2. An encroachment permit shall be obtained prior to any work within the public right-of-way.
3. Grading, paving and drainage plans, including details for any widening of the street per Brisbane Municipal Code Sections 12.24.010 & 15.08.140, shall be submitted for approval by the City Engineer prior to the issuance of a building permit. Drainage shall comply with the National Pollutant Discharge Elimination System (NPDES) permit issued by the San Francisco Bay Regional Water Control Board. The property owner(s) shall be responsible for ongoing operation and maintenance of any permanent structural stormwater controls.
4. The plans for widening of the street shall reflect that the trees at the intersection of Plumas and Mariposa Streets are to remain. The proposed on-street parking space, on Mariposa Street, will be reduced in size to allow for a tree box as required by the City Engineer's, but the parking space shall not be less than 20 ft in length.
5. The final detailed landscaping plans shall be submitted for approval by the Community Development Director and plans shall be consistent with the Water Conservation in Landscaping Ordinance (BMC Section 15.70). The final landscape plans shall include that portion of the lot that is within the public right-of-way (ROW), along the site frontage. All landscaping within the public right-of-way, including the species and location of the proposed street tree, shall also be subject to the approval of the City Engineer.
6. The plans submitted for a Building Permit shall be revised to correct sheet L2 to show the required:
 - Minimum setback of 12 ft for front entry canopy and 7 ft for the rear entry canopy;
 - Minimum 15 ft building setback for the front of the building
7. The design and specifications on the benches shall be provided as part of the final landscape plan, for Community Development Director approval. Benches are to be adequately weighted or attached to the ground to discourage theft.
8. The property owner shall enter into a standard landscape maintenance agreements with the City for landscaping within both the public right-of-way and within the property, to the satisfaction of the City Attorney.

9. The applicant shall comply with all applicable state and City stormwater requirements prior to issuance and during the performance of the building permit, including but not limited to the following:
 - a. Consistent with the state's C.3.i stormwater provisions (individual single family home projects that create and/or replace 2,500 square feet or more of impervious surface) and as indicated in the stormwater form completed by the applicant, the project shall:
 - Direct roof runoff onto vegetated areas.
 - Direct runoff from walkways and/or patios onto vegetated areas.
 - Construct walkways and patios with permeable surfaces.
 - b. Stormwater run-off calculations shall be provide for the site and stormwater may be required to be piped directly to the underground storm drain piping rather than to the curb and gutter, depending on the volume; as a preferred alternative on-site underground infiltration may be provided within the landscaping area, subject to City Engineer approval.
 - c. On-site storm drain inlets shall be clearly marked with the words "No Dumping! Flows to Bay," or equivalent using thermoplastic material or a plaque.
 - d. Air conditioning condensate shall drain to landscaping, or alternatively may be connected to the sanitary sewer system, subject approval by the City Engineer.
 - e. Any interior floor drains, shall be connected to the sanitary sewer system, subject to approval by the City Engineer.
 - f. Fire sprinkler test water shall be discharge to onsite vegetated areas, or, alternatively shall be discharged to the sanitary sewer system, subject to approval by the City Engineer.
 - g. No architectural copper shall be used for this project, except by prior Community Development Director approval to confirm that use and/or preparation of the materials is consistent with the state water board stormwater requirements and that the specific use of copper is consistent with the design permit.
10. A fire hydrant flow report shall be required to be provided to the Fire Dept. for approval.
11. A minimum of 125 cubic feet of enclosed storage space shall be provided for each unit. Garage space that is not part of the required vehicle parking area may be counted towards meeting this requirement.
12. Plans shall include sectional roll-up garage doors with automatic openers and with manual release mechanism.

13. Plans shall show separate and independent water, sewer, electrical, gas and telecommunications systems shall be provided for each unit.
14. Plans shall show all permanent mechanical equipment that could be a source of structural vibration or structure borne noise shall be shock mounted with inertia blocks or bases and/or vibration isolators.
15. The plans shall include a washer and drier hook-up for each unit.
16. The plans submitted for Building Permit approval shall specify lighting that will be directed away from and not cause glare onto adjacent properties.
17. Plans shall indicate that no reflective exterior equipment shall be allowed. Roof vents shall be painted to match or blend with the rooftop.
18. Prior to the issuance of a Building Permit and subject to the approval of the City Attorney, the property owner shall execute an agreement including a covenant running with the land and enforceable by the City whereby the owner waives the right to protest the inclusion of the property within an underground utility district.

During Construction:

19. Prior to foundation construction, a surveyed plot plan and staking plan shall be submitted to the City Building and Planning Departments.
20. The project shall comply with the stormwater Best Management Practices, as provided in the applicable state regulations and included in the applicant's stormwater checklist for Small Projects.
21. The sidewalk along the site frontage shall be reconstructed to accommodate the driveways and on street parking, subject to City Engineer approval, via encroachment permit.
22. Any prehistoric Native American cultural resources found during the course of construction shall be conserved in accordance with State and Federal requirements (Appendix K of the State CEQA Guidelines).

Prior to Occupancy:

23. Prior to certificates of occupancy the applicant shall demonstrate conformance with all of the above design permit conditions of approval.
24. All landscaping shall be installed, including that proposed in the public right-of-way.
25. House numbers shall be affixed to the building at a location visible from the street and a size subject to approval by the Fire Dept.

26. Mail boxes shall be provided at a location and design subject to Community Development Director approval.

Other Conditions:

27. If the project is to be constructed as condominiums, applications for a Use Permit and Tentative Parcel Map, along with a condominium map, declaration of restrictions and proposed management arrangement relating to the project (as required by the provisions of Section 1355 of the State Civil Code), shall be completed for public hearing and approval by the Planning Commission.
28. If the units are built and used as rental units prior to establishing them as condominiums, then the provisions for condominium conversions shall apply.
29. All on-street parking spaces shall be for public parking and private parking signs shall not be allowed.
30. The required garage parking spaces shall not be used or converted to any other use that would impair their basic use as parking for motor vehicles per Brisbane Municipal Code Section 17.34.020.A.
31. Minor modifications may be approved by the Community Development Director in conformance with all requirements of the Municipal Code.
32. This Design Permit shall expire two years from its effective date (at the end of the appeal period) if a Building Permit has not yet been issued for the approved project.

**Table 1
 Comparison of Current vs. Pending
 Permit Provisions for Condominiums**

Description	Current Provisions per BMC Section 17.30.030	Draft Provisions Pending City Council Approval of Proposed Ordinance No 566*	Applicant's Proposal or suggested Condition of Approval
Planning Permitting Requirements in addition to Design Permit	Use Permit & Tentative Map Required	Use Permit & Tentative Map Required	Applicant has filed for Use Permit & Tentative Map, but applications are incomplete, pending Planning Commission's approval of the Design Permit. Depending on when the applications are deemed complete either the current or pending provisions may apply. Pending provisions may be subject to change by the City Council prior to adoption.
<u>Outdoor Common Area</u>	500 sq ft per unit Minimum Area, with a 10% Maximum Slope	NA	Proposal includes approximately 570 sq ft per unit (1,744 sq ft total), not including decks.
<u>Outdoor Areas</u> for active or passive recreational use (decks, patios, lawns and landscaped areas accessed with walkways and provided with permanent seating, but not walkways that serve as the primary means of egress). Exceptions may be approved by the Planning Commission with adequate alternatives on site or in the vicinity.	NA	400 sq ft per unit, with a 10% Maximum Slope	Proposal includes approximately 527 sq ft per unit (1,582 sq ft total) under the definition for "Outdoor Areas". This includes addition of deck areas and deduction of the primary entry walkways versus Outdoor Common Area shown above.
Separate and independent water, sewer, electrical, gas and telecommunications systems	NA	Yes	Suggested Condition of Approval to apply this standard to the project.
Permanent mechanical equipment that could be a source of structural vibration or structure-borne noise shall be shock mounted with inertia blocks or bases and/or vibration isolators.	NA	Yes	Suggested Condition of Approval to apply this standard to the project.

Note: Draft Ordinance No. 566, which includes proposed revisions to the condominium provisions, was introduced by the City Council on Sept. 16, 2013, with adoption by City Council a minimum of 30 days following introduction, to be effective 30 days thereafter.

Table 2
Project Description
60 Plumas Street

Site Description		
General Plan Designation:	Residential: 15-30 dwelling units per acre	
Zoning:	R-3 Residential District	
Lot Area:	5,000 sq. ft. (50 by 100 ft)	
Slope:	<5%	
Existing Development:	None – Vacant with utilities at the street.	
Development Standards		
	Maximums	Proposed
Density:	1 unit per 1,500 sq ft	3 units (i.e.: 1 per 1,667 sq ft)
Lot Coverage:	60% (3,000 sq. ft.)	60% (3,000 sq. ft.)
Floor Area Ratio:	0.72 (3,600 sq. ft., excluding up to 400 sq ft garage space per unit for up to 4,800 sq ft)	0.72 (3600 sq. ft., plus 1,191 sq ft) garage space for a total of 4,791 sq ft)
Height	28 ft	23.25 ft
Building Setbacks--		
	Minimums	Proposed
Front	15 ft	15 ft
Sides	5 ft	5 ft
Rear	10 ft	10 ft
Architectural Feature Setback Exceptions (BMC Section 17.32.070.A.1.a) - Exceptions for Eaves & Canopies		
Front	May extend 3 ft from building, but no closer than 5 ft from the front lot line	12 ft
Sides	2 ft 6 in for the eaves and 2 ft for rain gutters	2 ft 6 in eave/gutter
Rear	May extend 3 ft from building, but no closer than 7 ft from the rear lot line	7 ft*
Articulation for outside walls that are greater than 20 ft by 20 ft	NA- All exterior walls are less than 20 ft in height.	
Landscaping		
Front setback	15%	45%
Gross site area (for 3 units or more)	10%	12%
Parking	A minimum of 2 garage spaces per unit (6 total). Note that standard spaces are 9 ft by 18 ft and compact spaces are 8 ft by 16 ft. One space per unit (50%) may be compact.	The total on and off-street (garage spaces) would be 10. This would include 2 garage spaces per unit in 3 garages (6 total), with 4 standard spaces and 2 compact spaces. In addition, 4 standard (or larger) on-street spaces will be provided.

June 18, 2013

Three Residential Units
60 Plumas Street,
Brisbane, Ca

RECEIVED

JUL 02 2013

Comm. Dev. Dept. Brisbane

Design Considerations
Per requirements of Section 17.42.040

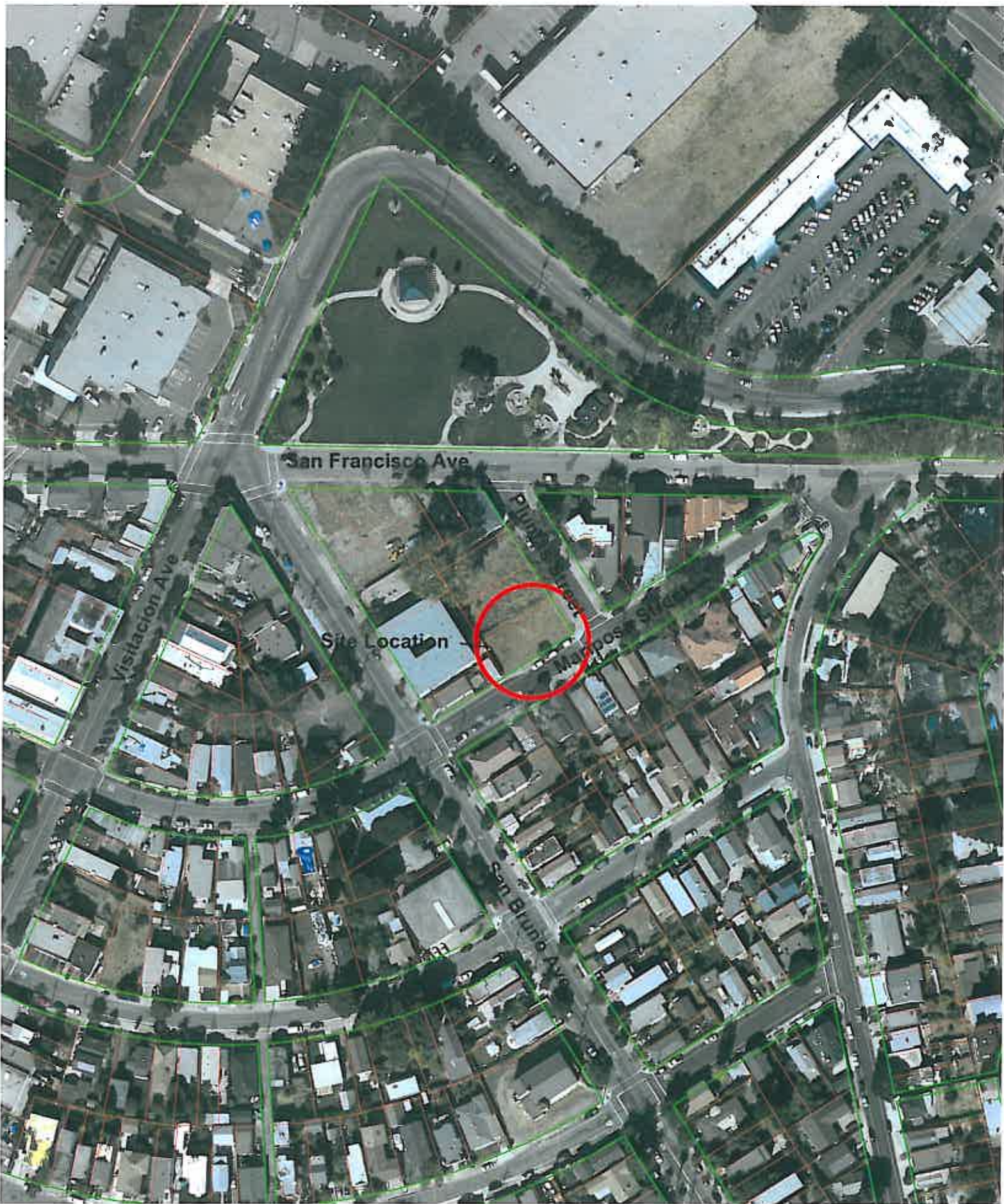
- A. The project uses natural earth tone colors and natural materials to complement the project.
- B. The orientation and location of the project mixes well with adjacent properties. All adjacent properties are residential multi-unit dwellings and residential single-unit dwellings.
- C. The building is designed and located to mitigate impacts to adjacent lands uses by providing landscaped open outdoor spaces for building residents.
- D. This project takes advantage of natural heating and cooling opportunities through building placement, landscaping, double pane windows, and insulated exterior walls.
- E. This project is not located on a hillside. This project is on a flat lot.
- F. The site plan minimizes the effects of traffic on abutting streets by careful layouts of vehicular and pedestrian entrances and exits while maximizing existing on-street parking.
- G. This project is centrally located in downtown Brisbane and is near public transportation. This three-unit development will rely on existing public and private transportation.
- H. The project uses balance landscaping to provide open areas to complement the building. The landscaping will consist of low water use trees, shrubs, and ground cover.
- I. High efficient sound insulation between units and double pane windows will be used in the project.
- J. This project does not include shiny and reflective material other than window glass.

F.1.15

K. This project has no roof top AC units. Each unit has its own covered garbage area set in the back of the building away from view.

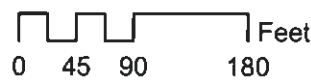
L. Signage consists of house numbers only.

M. There are no employees in this project.



**60 Plumas Street
Site Vicinity Aerial**

F.1.17.





60 Plumes St - Vacant Lot

F.1.18



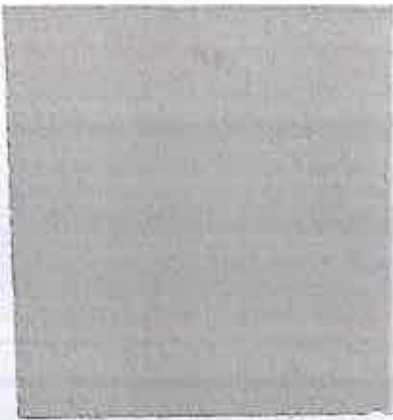
60 Plumas St.

F. 1. 19



Photo of Materials Samples

Stucco
Brand Dryvit
Finish Smooth sponge trowel
Color Frank Clay (111)



Curtain, Garage Doors, Doors
Brand Seri
Color Bison Brown (2656 7)



Trim
Brand Bell
Color Decorator white (PWN 10)

Roof Cover
Brand Eagle
Model Capistrano
Color Adobe Blend (3722)



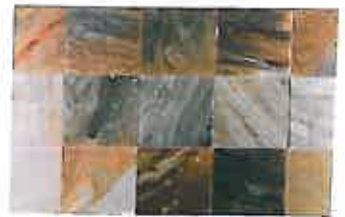
Exterior Wall Mount Light Fixture
Brand Richer
Model Craftsman (K952CV)



Walkway
Brand Ceramic
Model Quarry Stone
Color Cassin Ridge



Entry way landing
Model 31 and 316
Color Golden Yellow Quartzite

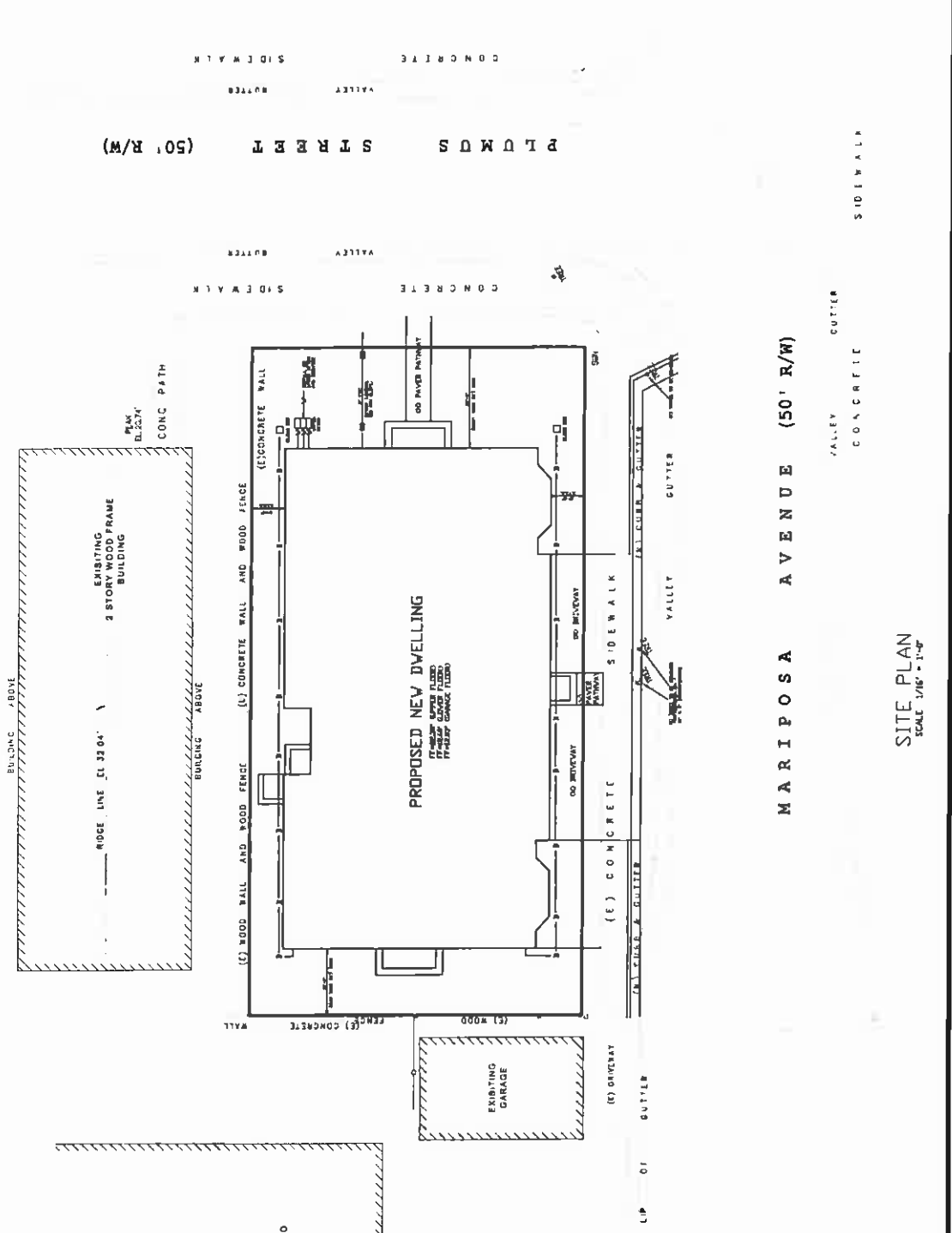


NO.	REVISIONS	BY

NEW PLUMAS STREET CONDOMINIUMS
 SETO RESIDENCE
 60 PLUMAS ST, BRISBANE, CA 94005 APN: 007-223-010

SITE PLAN

Date	6/17/2013
Scale	1/8" = 1'-0"
Drawn	BB
Sheet	A6



GENERAL NOTES
 1. REFER TO PLANS OF EXISTING STRUCTURE FOR CONSTRUCTION
 2. REFER TO EXISTING LOCATION OF PROPERTY LINE.

SITE PLAN
 SCALE 1/8" = 1'-0"

F.1.32.

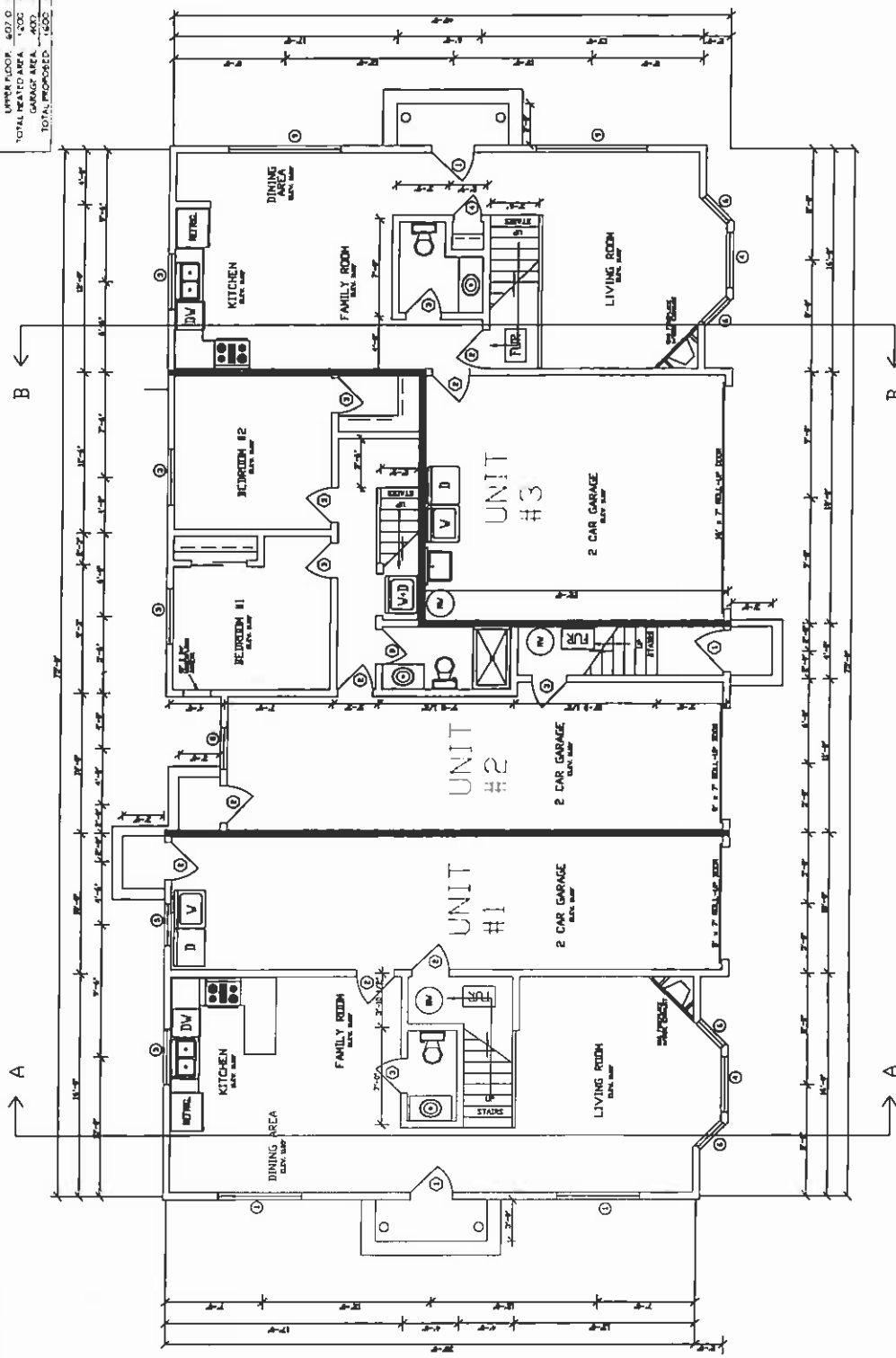
NO.	DATE	BY

NEW PLUMAS STREET CONDOMINIUMS
 SETO RESIDENCE
 60 PLUMAS ST, BRISBANE, CA 94005 APN: 007-223-010

LOWER FLOOR PLAN

NO.	DATE	BY

PROJECT DATA
 PROPERTY OWNERS: JAMPF & ROBERT SFC
 100 HINDS ROAD, BRISBANE, CA 94005
 PROJECT NO: 2018-0016
 APN: 007-223-010
 ZONING: R5
 OCCUPANCY GROUP: MULTIFAMILY DWELLINGS
 LOT AREA: 8000 S.F.
 SITE COVERAGE: 50%
 LIVING AREA: 11,000 S.F.
 UPPER FLOOR: 4,000 S.F.
 LOWER FLOOR: 7,000 S.F.
 TOTAL: 11,000 S.F.
 GARAGE AREA: 4,000 S.F.
 TOTAL PROPOSED: 15,000 S.F.



GENERAL FLOOR PLAN NOTES:
 1. INTERIOR WALLS ARE 8-4 STUDS UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE CONSTRUCTED OF 8-4 STUDS W/ ONE LAYER OF 1/2" GYP BOARD OR 4-4 STUDS W/ TWO LAYERS OF 1/2" GYP BOARD AS NOTED BY ARCHITECT OR AS REQUIRED BY STRUCTURAL ENGINEER.
 3. WINDOWS ARE 20" HIGH AND 36" WIDE UNLESS NOTED OTHERWISE. THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 6" ABOVE GROUND.

LOWER FLOOR PLAN
 SCALE: 1/8" = 1'-0"

F.1.23.

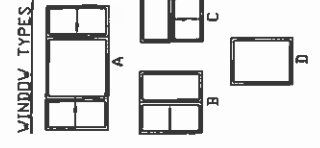
NO.	REVISIONS	BY

NEW PLUMAS STREET CONDOMINIUMS
 SEFO RESIDENCE
 60 PLUMAS ST, BRISBANE, CA 94005 APN: 007-223-010

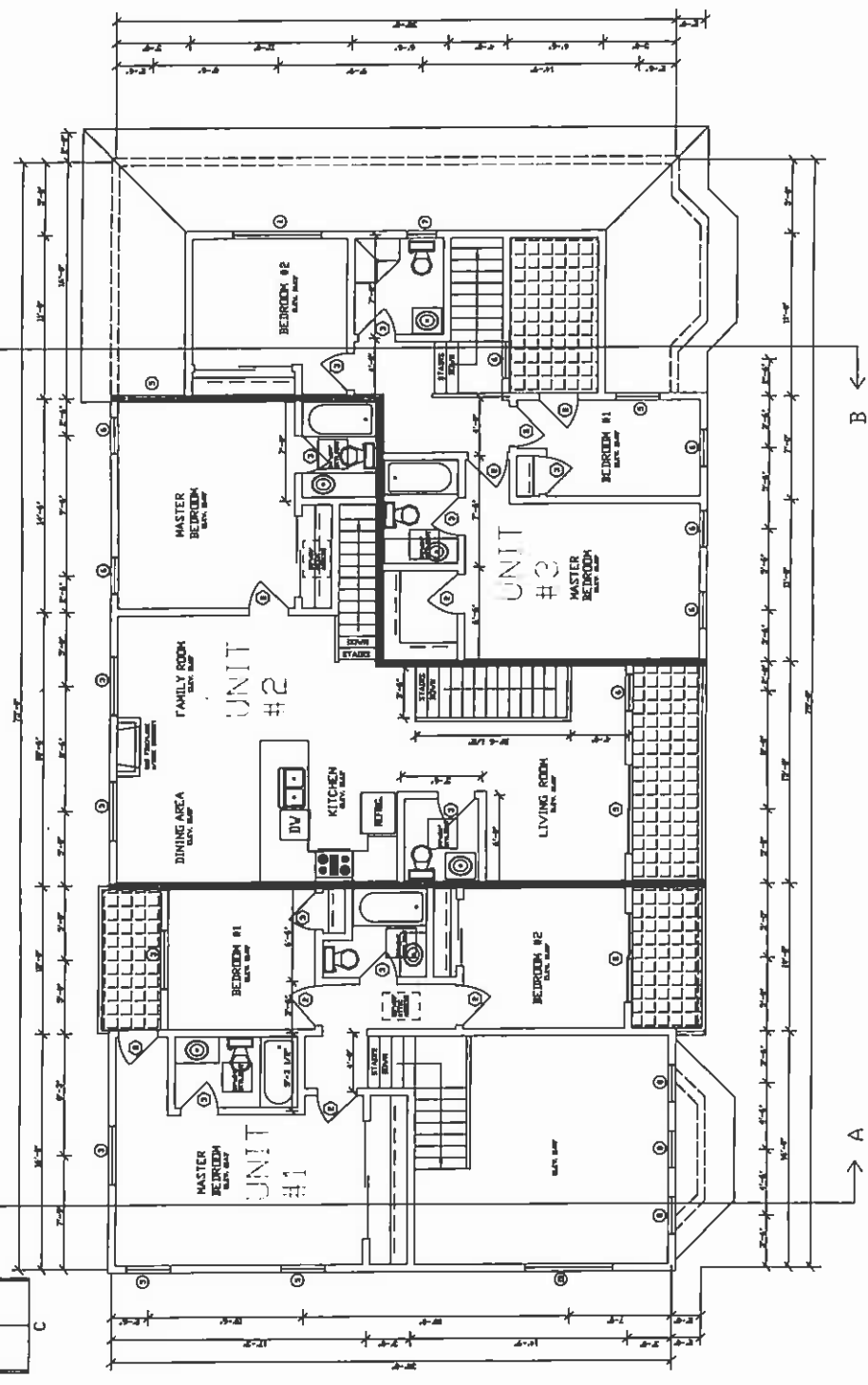
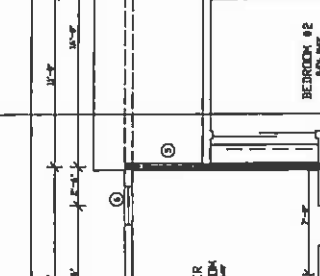
UPPER FLOOR PLAN

Date	6-17-2012
Scale	1/8" = 1'-0"
Project	BR
Sheet	A2
Drawn	
Checked	

ID	TYPE	SIZE	MATERIAL	COMMENTS	TOTAL
1	A	3'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	3
2	B	3'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	1
3	C	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	7
4	D	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	2
5	E	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	7
6	F	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	1
7	G	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	1
8	H	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	5
9	I	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	2
10	J	4'-0" x 4'-0"	WHTR	NON-COLOR SINGLG	1



ID	TYPE	SIZE	MATERIAL	COMMENTS	TOTAL
1	A	3'-0" x 7'-0"	WOOD	SLIDING DOOR	1
2	B	3'-0" x 7'-0"	WOOD		1
3	C	3'-0" x 7'-0"	WOOD		1
4	D	3'-0" x 7'-0"	WOOD		1
5	E	3'-0" x 7'-0"	WOOD		1
6	F	3'-0" x 7'-0"	WOOD		1
7	G	3'-0" x 7'-0"	WOOD		1
8	H	3'-0" x 7'-0"	WOOD		1
9	I	3'-0" x 7'-0"	WOOD		1
10	J	3'-0" x 7'-0"	WOOD		1



UPPER FLOOR PLAN
 SCALE 1/8" = 1'-0"

F.1.24

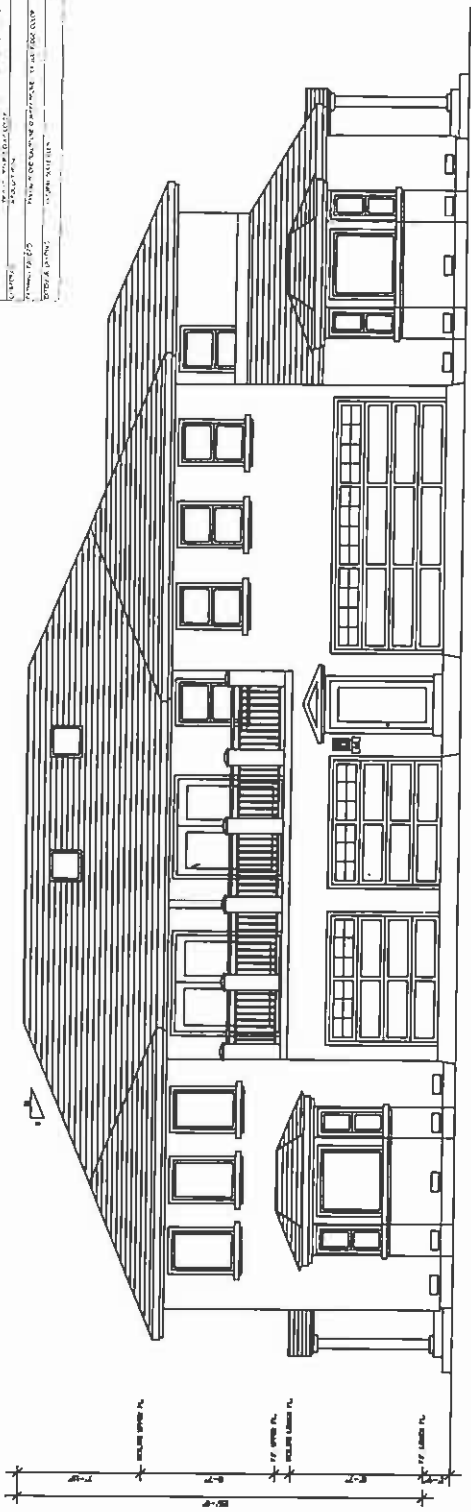
REVISIONS	BY

NEW PLUMAS STREET CONDOMINIUMS
 SETO RESIDENCE
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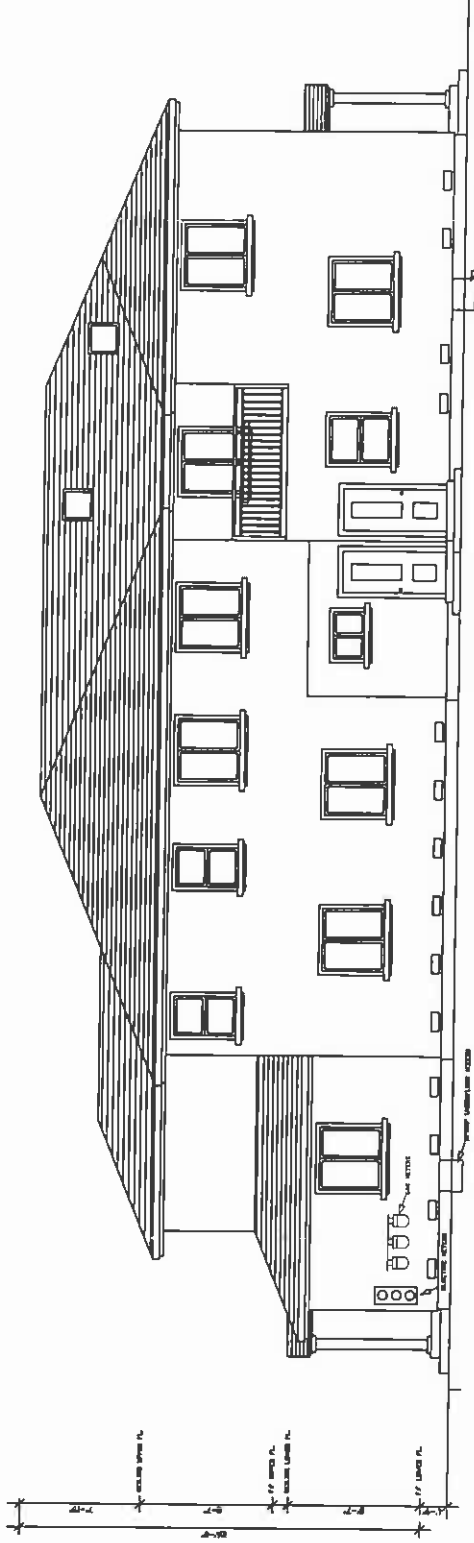
ELEVATIONS

Date	6/12/2013
Scale	1/4" = 1'-0"
Drawn	BS
Sheet	A3

REFERENCE	NOTATION
1	SEE SHEET A1 FOR GENERAL NOTES
2	SEE SHEET A2 FOR GENERAL NOTES
3	SEE SHEET A3 FOR GENERAL NOTES
4	SEE SHEET A4 FOR GENERAL NOTES
5	SEE SHEET A5 FOR GENERAL NOTES
6	SEE SHEET A6 FOR GENERAL NOTES
7	SEE SHEET A7 FOR GENERAL NOTES
8	SEE SHEET A8 FOR GENERAL NOTES
9	SEE SHEET A9 FOR GENERAL NOTES
10	SEE SHEET A10 FOR GENERAL NOTES



SOUTHEAST ELEVATION
 SCALE 1/4" = 1'-0"



NORTHWEST ELEVATION
 SCALE 1/4" = 1'-0"

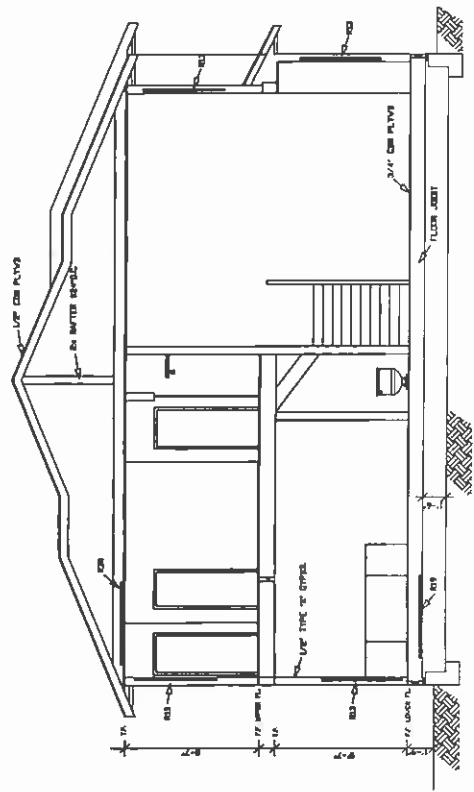
F. 1.25.

REVISIONS BY

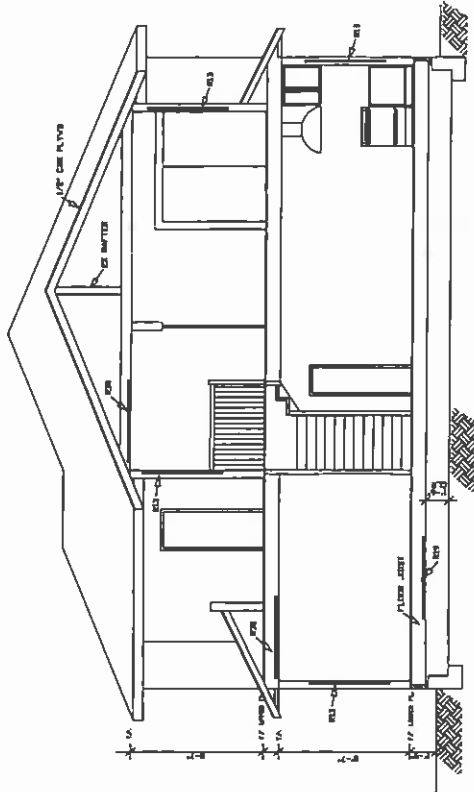
NEW PLUMAS STREET CONDOMINIUMS
SETO RESIDENCE
60 PLUMAS ST, BRISBANE, CA 94005 APN: 007-223-010

SECTIONS

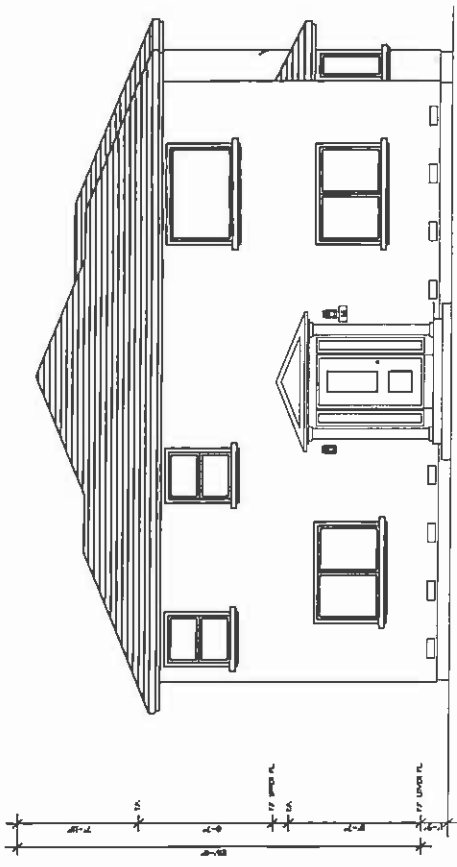
Date	01/17/2013
Scale	1/8" = 1'-0"
Sheet	05
Project	05
Sheet	05
Scale	1/8" = 1'-0"
Sheet	A4



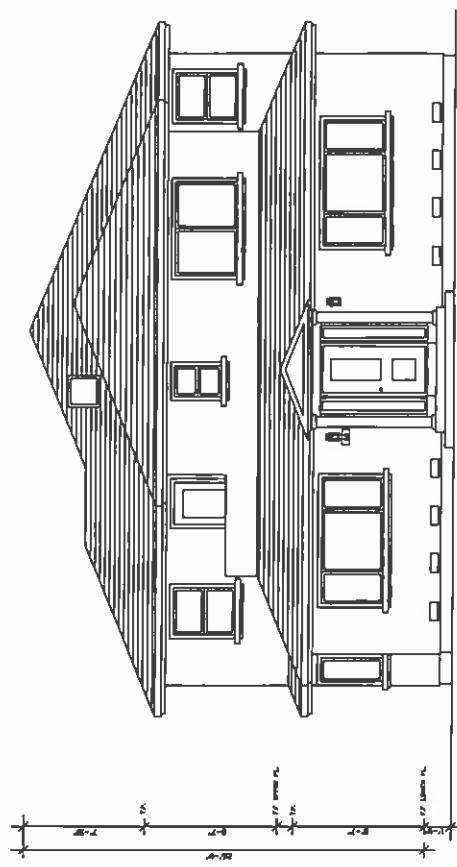
SECTION A-A
SCALE 1/8" = 1'-0"



SECTION B-B
SCALE 1/8" = 1'-0"



SOUTHWEST ELEVATION
SCALE 1/8" = 1'-0"



NORTHEAST ELEVATION
SCALE 1/8" = 1'-0"

F.1.26.

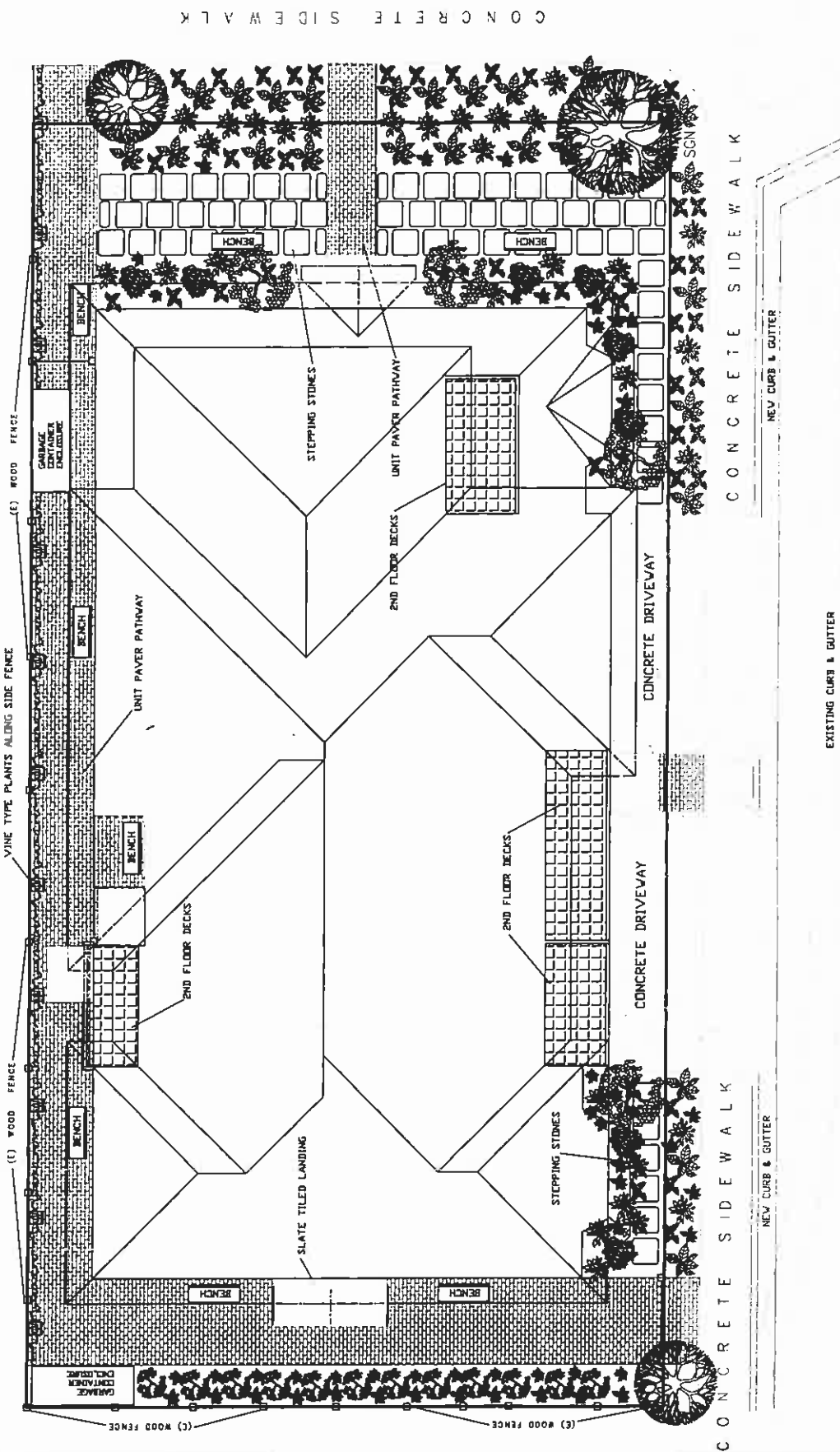
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NEW PLUMAS STREET CONDOMINIUMS
 SETO RESIDENCE
 60 PLUMAS ST, BRISBANE, CA 94005 APN: 007-223-010

CONCEPTUAL LANDSCAPE PLAN

Date	9-17-2013
Scale	1/8" = 1'-0"
Sheet	03
Project	L2

NOTES:
 1. ALL LANDSCAPING PLANTS ARE TO USE DROUGHT TOLERANT TREES AND PLANTS.
 2. ALL LANDSCAPE IRRIGATION SHALL USE AUTOMATED DRIP-LINE SYSTEMS.
 3. ALL UNIT PAVERS ARE TO BE SET ON PERMEABLE BASE.
 4. ALL STEPPING STONES ARE TO BE SET ON COMPACTED DECOMPOSED GRANITE.



MARIPOSA AVENUE

CONCEPTUAL LANDSCAPE PLAN
 SCALE 1/8" = 1'-0"

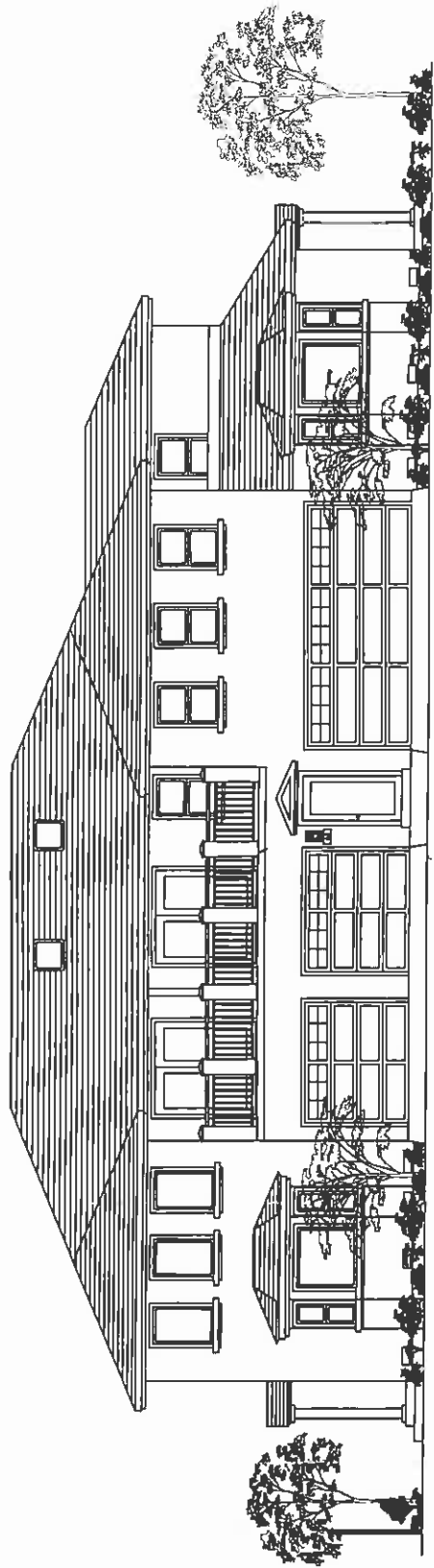
F.1.27

REVISIONS BY

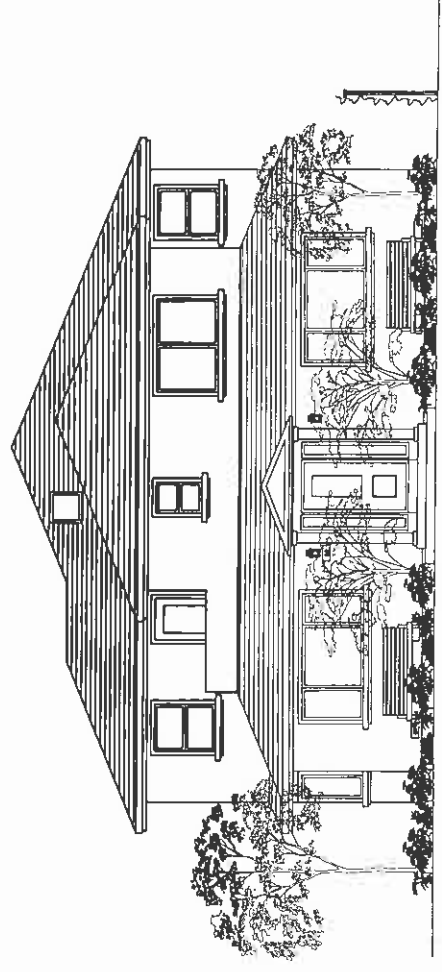
NEW PLUMAS STREET CONDOMINIUMS
SETO RESIDENCE
60 PLUMAS ST, BRISBANE, CA 94005 APN: 007-223-010

CONCEPTUAL LANDSCAPE
(ELEVATIONS)

Date	6-15-18
Scale	1/8" = 1'-0"
Drawn	ML
Check	
Appr	
Sheet	L5



CONCEPTUAL LANDSCAPE (SOUTHEAST ELEVATION)
SCALE 1/8" = 1'-0"



CONCEPTUAL LANDSCAPE (NORTHEAST ELEVATION)
SCALE 1/8" = 1'-0"

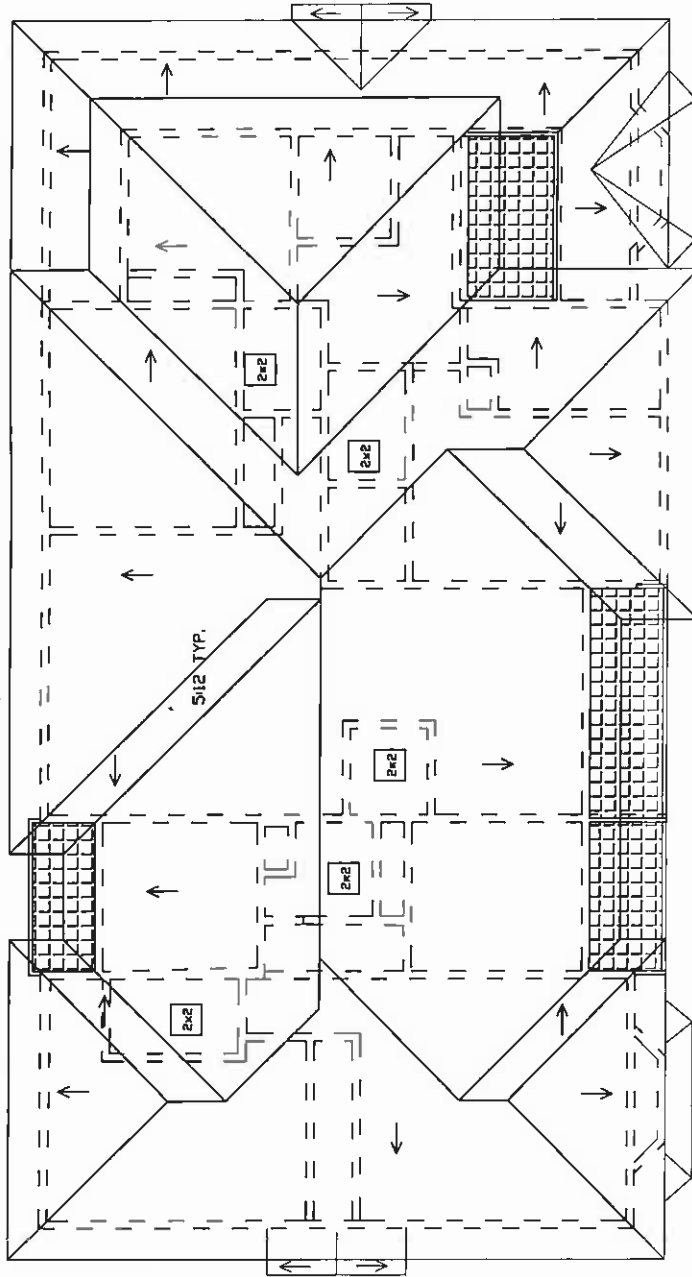
F.1.29.

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NEW PLUMAS STREET CONDOMINIUMS
 SETO RESIDENCE
 60 PLUMAS ST, BRISBANE, CA 94005 APN: 007-223-010

ROOF PLAN

Date	6/17/2013
Scale	1/8"=1'-0"
Drawn	RS
Sheet	A5
Project	



ROOF PLAN
 SCALE 1/8"=1'-0"

F.1.31

